



City of Abilene City Council Agenda

Brian Yates, Mayor Pro-tem
Blaise Regan, Deputy Mayor Pro-tem
Shane Price, Council Member
Lynn Beard, Council Member
Emily Crawford, City Manager

Weldon Hurt, Mayor

Miguel Espinoza, Council Member
Travis Craver, Council Member
Stanley Smith, City Attorney
Shawna Atkinson, City Secretary

Notice is hereby given of a meeting of the City Council of City of Abilene to be held on February 26, 2026, at 8:30 a.m., at City Hall, 555 Walnut Street, Council Chambers, Abilene, Texas, for the purpose of considering the following agenda items. All agenda items are subject to action. The City Council reserves the right to meet in a closed session on any agenda item should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

CALL TO ORDER

INVOCATION

1. Councilmember Travis Craver

PLEDGE TO THE UNITED STATES FLAG AND THE TEXAS FLAG

PRESENTATIONS, RECOGNITIONS, PROCLAMATIONS AND ANNOUNCEMENTS

2. **Recognition:**

- Recognition of Water Utilities Employees

CONSENT AGENDA AND PUBLIC COMMENTS

All items listed in the Consent Agenda are considered routine by the City Council and will be enacted by one motion. There will be no separate discussion or presentation of these items unless otherwise requested by a Council Member. In the event one or more Council Members remove an item from the consent Agenda for separate discussion or presentation, the item or items removed will be considered in numerical order as part of the Regular Agenda and shall include a public hearing.

After the Council Members have requested any item on the consent Agenda be considered separately, the public comment period will be held. The public comment section of the consent agenda allows members of the public to present any ideas or information to the City Council and staff, and also allows for public comment on the consent agenda items not otherwise pulled for separate consideration. Neither the City Council nor staff will engage in discussion with the public during the public comments unless the item is

listed on the Council agenda.

Members of the public will have a total time limit of three (3) minutes to speak during the public comments section.

3. **Minutes:** Receive a Report, Hold a Discussion and Take Action on Approving the Minutes from the Regular Meeting Held on February 12, 2026 **(Shawna Atkinson)**
4. **Resolution:** Receive a Report, Hold a Discussion and Take Action to Purchase One 2027 Freightliner M2 Cab and Chassis with 14ft Ledwell Flatbed Dump Body from Lonestar Truck Group, Abilene, Texas for Parks and Recreation **(Don Green)**
5. **Resolution:** Receive a Report, Hold a Discussion and Take Action on Awarding a Contract for Printing Services to HVC RAM, LLC dba AlphaGraphics **(Marjorie Knight)**
6. **Ordinance (First Reading) CUP-2026-02:** Receive a Report, Hold a Discussion and Take Action on a Request from the Owner to Apply a Conditional Use Permit to a Property to Allow a Recreation Vehicle Park in Agricultural Open (AO) and General Commercial (GC) Zoning. Located at 309 Arnold Boulevard. **(Tim Littlejohn)**
7. **Ordinance (First Reading) CUP-2026-03:** Receive a Report, Hold a Discussion and Take Action on A Request From The Owner To Apply A Conditional Use Permit To A Property To Allow an RV Park in Agricultural Open (AO) and General Commercial (GC) Zoning within 239.86 Acres. Located at 3799 N Danville Drive. **(Tim Littlejohn)**
8. **Ordinance (First Reading) Z-2026-05:** Receive a Report, Hold a Discussion and Take Action on a Request from the Owner to Change the Zoning of Approximately 1.54 Acres from Planned Development (PDD-59) to General Retail (GR) Zoning. Located at 4541 Catclaw Drive. **(Tim Littlejohn)**
9. **Ordinance (First Reading) Z-2026-06:** Receive a Report, Hold a Discussion and Take Action on a Request from the Owner to Change the Zoning of Approximately 2.80 Acres from Agricultural Open (AO) to Residential Single-Family (RS-6) Zoning. Located at the 1500 Block of Wildlife Trails Parkway. **(Tim Littlejohn)**

REGULAR AGENDA - ORDINANCES AND PUBLIC HEARINGS - RESOLUTIONS

10. **Ordinance (Final Reading):** Receive a Report, Hold a Discussion and Public Hearing, and Take Action on Amending Chapter 27, "Solid Waste," Article IV, "Prohibitions," Section 27-26, "Prohibited Acts" and 27-27, "Exceptions," of the Abilene Municipal Code. **(Max Johnson)**
11. **Ordinance (Final Reading): Z-2026-02:** Receive a Report, Hold a Discussion and Public Hearing, and Take Action on a Request from the Owner to Change the Zoning of Approximately 3.65 Acres from Planned Development District (PDD-116) to General Commercial (GC) Zoning. Located at 2002 Jameson Street. **(Tim Littlejohn)**
12. **Ordinance (Final Reading) Z-2026-07:** Receive a Report, Hold a Discussion and Public Hearing, and Take Action on a Request from the Owner to Change the Zoning of Approximately 3.87 Acres from General Retail (GR) to Light Industrial (LI) Zoning. Located at 5601 Memorial Dr. **(Tim Littlejohn)**
13. **Presentation:** Receive a Report and Hold a Discussion on the January 23, 2026, Winter Weather Event **(Vincent Cantu)**

EXECUTIVE SESSION

14. **The City Council of the City of Abilene reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed below, as authorized by the noted Texas Government Code Sections:**

A. 551.071 (Consultation with Attorney)

1. City of Abilene v. 3118 South 22nd Street, Abilene, Texas, et al.; Cause No. 11968-D, In the 350th Judicial District Court, Taylor County, Texas; filed October 11, 2019
2. The City of Abilene, Texas v. Ken Paxton, Attorney General of Texas; Cause No. D-1-GN-20-007028, In the 459th Judicial District Court, Travis County, Texas; filed November 18, 2020
3. Alton H. Smith, Jr. and Alicia Malorie Smith v. City of Abilene, Texas; Cause No. 51055-A, In the 42nd Judicial District Court, Taylor County, Texas; filed March 11, 2021
4. Steve Van Horne, et al. v. City of Abilene, et al.; Cause No. 12530-D, In the 350th Judicial District Court, Taylor County, Texas; filed September 7, 2021
5. The City of Abilene, Texas v. Ken Paxton, Attorney General of Texas; Cause No. D-1-GN-21-006299, In the 250th Judicial District Court, Travis County, Texas; filed October 20, 2021
6. Richard Scheriger, et al. v. City of Abilene; Cause No. CV33253, In the 90th Judicial District Court, Stephens County, Texas, filed April 21, 2023
7. The Woodlands Pride, Inc., et al. v. Ken Paxton, Attorney General of Texas, et al., Case No. 4:23-cv-02847, In the United States District Court, Southern District of Texas, Houston Division, filed August 2, 2023
8. PFAS Litigation
9. Ginger Robertson v. City of Abilene and Abilene Zoological Society; Cause No. 13179-D, In the 350th Judicial District Court, Taylor County, Texas; filed December 5, 2023
10. City of Dallas, et al, v. Disney DTC, LLC, et al., Cause No. DC-22-09128, In the 14th Judicial District Court, Dallas County, Texas, filed August 3, 2022
11. Patricia Anderson v. City of Abilene; Cause No. 51867-A, IN the 42nd Judicial District Court, Taylor County, Texas; filed March 1, 2024
12. Mary Lou Gonzales v. City of Abilene, Board of Building Standards; Cause No. 29156-B; In the District Court, 104th Judicial District, Taylor County, Texas; filed April 10, 2024
13. Bouldin Pat Crofton v. City of Abilene, Board of Building Standards; Cause No. 52175-A, In the 42nd Judicial Court, Taylor County, Texas; filed May 9, 2025
14. Tracey Freeman v. City of Abilene, Case No. 13596-D; In the District Court of Taylor County, 350th Judicial District, filed on July 8, 2025
15. Bronson Joseph Serasio v. C Davis, City of Abilene Police Department; Case No. 25SC-11643J11; In The Small Claims Court, Precinct 1, Place 1, Taylor County, Texas, filed July 21, 2025
16. Victor Lynn Lee v. Erin Stamey, et al., Case No. 5:25-cv-00590-XR; In the United States District Court, Western District of Texas, San Antonio Division; filed May 28, 2025
17. Brennon and Brittany Manske, et al. v. City of Abilene, et al.; Case No. 1:25-cv-00172-H, In the United States District Court, Northern District of Texas, Abilene Division, filed September 5, 2025
18. Kevin Young v. Matthew Clopton; Case No. 1:24-CV-00113-H, In the United States District Court, Northern District of Texas, Abilene Division, filed July 16, 2024
19. Ishmael Jaimes v. City of Abilene; Civil Action No. 1:25-cv-00249-H; In the United States District Court, Northern District of Texas, Abilene Division; filed November 13, 2025
20. Rusty Miller and Jenny Miller, Individually, and as Next Friends of Jayden Miller v. the City of Abilene; Cause No 13773-D, in the 350th Judicial District Court, Taylor County, Texas, filed December 22, 2025
21. Peer Cities

B. 551.072 (Deliberations about Real Property)

C. 551.073 (Deliberations about Gifts and Donations)

D. 551.074 (Personnel Matters)

1. City Council may consider appointment, employment, compensation, reassignment, duties, discipline, or dismissal of public officers or employees, City Manager, City Attorney, Municipal Court Judge, City Secretary, and City Board and Commission Members
2. City of Abilene Boards & Commissions May be Discussed, as needed for (re)appointment

E. 551.076 (Deliberations about Security Devices)

F. 551.087 (Business Prospect/Economic Development)

RECONVENE

ADJOURNMENT

In compliance with the Americans with Disabilities Act, the City of Abilene will provide for reasonable accommodations for persons attending City Council meetings. To better serve you, requests should be received 48 hours prior to the meetings. Please call 325-676-6208.

CERTIFICATION

I hereby certify the above meeting notice was posted on the bulletin board at the City Hall of the City of Abilene, Texas, on the 20th day of February, 2026, at 9:30 a.m.

Shawna Atkinson, TRMC, CMC
City Secretary



**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Honorable Mayor & Members of City Council
FROM: Shawna Atkinson, City Secretary
ITEM: 3. Minutes: Receive a Report, Hold a Discussion and Take Action on Approving the Minutes from the Regular Meeting Held on February 12, 2026 (*Shawna Atkinson*)

GENERAL INFORMATION

Approval of the Minutes from the Regular Meeting Held on February 12, 2026

FUNDING/FISCAL IMPACT

None

STAFF AND/OR BOARD RECOMMENDATION

Approval of the Minutes

ATTACHMENTS:

1. 02-12-2026 Minutes - Regular - Morning

BACKUP DOCUMENTATION UPDATED? Yes

UPDATED ON: 02/24/2026

CITY COUNCIL MEETING
February 12, 2026 at 8:30 a.m.

CITY COUNCIL OF THE CITY OF ABILENE, TEXAS
COUNCIL CHAMBERS, CITY HALL

The City Council of the City of Abilene, Texas met in Regular Session on February 12, 2026, at 8:30 a.m. in the Council Chambers, 555 Walnut St. Mayor Weldon Hurt was present and presiding, along with Mayor Pro-tem Brian Yates, Deputy Mayor Pro-tem Blaise Regan, and Councilmembers Shane Price, Lynn Beard, Miguel Espinoza and Travis Craver. Also present were City Manager Emily Crawford, City Attorney Stanley Smith, and City Secretary Shawna Atkinson.

Councilmember Shane Price led the invocation.

Lena Spaulding and Johnny Belliveau, both 5th graders at McMurry Center for Innovation, led the Pledge of Allegiance to the Flag of the United States of America and the State of Texas Flag.

PRESENTATION OF CONSENT AGENDA

The Consent Agenda consisted of items 2-20.

Item(s) pulled for individual consideration:

- Item 8 – Councilmember Price

PUBLIC COMMENTS

Mayor Hurt opened the public comment period. The following addressed the City Council:

- Tammy Fogle

With no other speakers coming forward, the public comment period was closed.

CONSENT AGENDA

Councilmember Beard moved to approve the consent agenda, now consisting of items 2-7 and 9-20. Deputy Mayor Pro-tem Regan seconded the motion. Motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver

NAYS (0): None

2. Minutes: Receive a Report, Hold a Discussion and Take Action on Approving the Minutes from the Regular Meeting Held on January 22, 2026, and the Special Retreat Meeting Held on February 5, 2026
3. Resolution: Receive a Report, Hold a Discussion and Take Action on Ordering a City of Abilene General Election to be Held on Saturday, May 2, 2026, for the Purpose of Electing Members to City Council Place 3, Place 4, and Mayor
[ASSIGNED RESOLUTION NO. 23-2026]

4. Resolution: Receive a Report, Hold a Discussion and Take Action on Authorizing a Joint Election Agreement and Contract for Election Services with Taylor County for a General Election to be Held on Saturday, May 2, 2026, and Authorizing the Extension of this Contract to Cover a Runoff Election, if Needed
[ASSIGNED RESOLUTION NO. 23-2026]
5. Resolution: Receive a Report, Hold a Discussion and Take Action on Casting a Vote to Nominate a Member to the Taylor County Appraisal District Board of Directors to Fill a Vacancy
[ASSIGNED RESOLUTION NO. 25-2026]
6. Resolution: Receive a Report, Hold a Discussion and Take Action to Purchase One Kenworth T180 Cab and Chassis with a Dur-a-lift DPM2 Two-Person Bucket Body with Hoist from MHC Kenworth Abilene of Tye, Texas for the Signs, Signals and Lighting Division
[ASSIGNED RESOLUTION NO. 26-2026]
7. Resolution: Receive a Report, Hold a Discussion, and Take Action to Award the Bonanza Drive Extension (New Airport Access Road) Construction Contract to Bontke Brothers Construction, Inc.
[ASSIGNED RESOLUTION NO. 27-2026]
9. Resolution: Receive a Report, Hold a Discussion and Take Action on Approving a Street Use License Agreement Extended Term with Energy Transfer Fuel, LP
[ASSIGNED RESOLUTION NO. 29-2026]
10. Resolution: Receive a Report, Hold a Discussion and Take Action on Approving a Street Use License Agreement Extended Term with West Texas Rehabilitation Center Foundation
[ASSIGNED RESOLUTION NO. 30-2026]
11. Ordinance (First Reading): Receive a Report, Hold a Discussion, and Take Action on Amending Chapter 27, "Solid Waste," Article IV, "Prohibitions," Section 27-26, "Prohibited Acts" and 27-27, "Exceptions," of the Abilene Municipal Code.
12. Resolution: Receive a Report, Hold a Discussion and Take Action on Commissioning of Christopher Robin (100 Acre Woods Series) Sculpture, the Acceptance of the Christopher Robin Sculpture on Winnie, and Reinstallation and Acceptance of the Green Bunny Sculpture as part of the City Sculpture Series
[ASSIGNED RESOLUTION NO. 31-2026]
13. Resolution: Receive a Report, Hold a Discussion and Take Action on Approving the Abilene Convention Center Hotel Development Corporation's FY 2026 Revised Budget
[ASSIGNED RESOLUTION NO. 32-2026]
14. Resolution: Receive a Report, Hold a Discussion and Take Action on Approving Assignment and Assumption of Development Agreement Between the City of Abilene, Texas and Red Dirt Holdings, LLC, Assignor, to Lantana Meadows, LLC, Assignee
[ASSIGNED RESOLUTION NO. 33-2026]
15. Resolution: Receive a Report, Hold a Discussion and Take Action on the Approval to Acquire Professional Services with Computer Task Group (CTG), Inc. as a Provider of Network Services
[ASSIGNED RESOLUTION NO. 34-2026]

16. Resolution: Receive a Report, Hold a Discussion and Take Action on the Approval to Acquire Professional Services with Computer Task Group (CTG), Inc. as a Provider of Project Services
[ASSIGNED RESOLUTION NO. 35-2026]
17. Resolution: Receive a Report, Hold a Discussion and Take Action on Entering into a Economic Development Agreement with Continued Growth LLC for the Construction of Two New Single-Family Residences
[ASSIGNED RESOLUTION NO. 36-2026]
18. Resolution: Receive a Report, Hold a Discussion and Take Action on Entering into an Economic Development Agreement with West Texas Custom Builders for 1241 Locust St.
[ASSIGNED RESOLUTION NO. 37-2026]
19. Ordinance (First Reading) Z-2026-02: Receive a Report, Hold a Discussion and Take Action on a Request from the Owner to Change the Zoning of Approximately 3.65 Acres from Planned Development District (PDD-116) to General Commercial (GC) Zoning. Located at 2002 Jameson Street.
20. Ordinance (First Reading) Z-2026-07: Receive a Report, Hold a Discussion and Take Action on a Request from the Owner to Change the Zoning of Approximately 3.87 Acres from General Retail (GR) to Light Industrial (LI) Zoning. Located at 5601 Memorial Dr.

ITEMS PULLED FOR INDIVIDUAL CONSIDERATION

8. Resolution: Receive a Report, Hold a Discussion, and Take Action to Approve Change Order 1 to the Contract with Bontke Brothers for Bonzana Drive Extension
[ASSIGNED RESOLUTION NO. 28-2026]

Having pulled the item, Councilmember Price asked about the removal of part of the sidewalks from the proposal, and that he would like to see those be fully funded through the Minor Improvement Fund instead. Don Green, Director of Transportation, presented the item. He clarified that they pulled a portion of the sidewalks out of the plan on the west side of the road to fund other necessary items, and as that area is developed, the developer will then be responsible for putting in the sidewalks at that time.

Mayor Hurt opened the public hearing. With no speakers coming forward, the public hearing was closed.

Councilmember Price moved to approve the item as presented. Deputy Mayor Pro-tem Regan seconded the motion; motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver

NAYS (0): None

REGULAR AGENDA

21. Resolution: Receive a Report, Hold a Discussion and Take Action on Approval of Bid #CB-2622 for the Fire Station 6 Bathroom Repair and Remodel
[ASSIGNED RESOLUTION NO. 38-2026]

Cande Flores, Fire Chief, presented the item. Adoption of the item would approve the bid from RHS Construction for the bathroom renovation and repair at Fire Station 6.

Mayor Hurt opened the public hearing. With no speakers coming forward, the public hearing was closed.

Councilmember Beard moved to approve the item as presented. Mayor Pro-tem Yates seconded the motion; motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver
NAYS (0): None

22. Resolution: Receive a Report, Hold a Discussion and Take Action on Awarding RFP #CB-2620 for the Abilene Zoo- Africa (Phase 1 of Master Plan) to The Crowe Group, Inc.
[ASSIGNED RESOLUTION NO. 39-2026]

Lesli Andrews, Director of Parks & Recreation, presented the item. Adoption of the item would award the bid to The Crowe Group, Inc. for the Abilene Zoo Africa Phase 1 portion of the Zoo Master Plan. This bid was awarded previously, but due to a technical error with the newspaper posting, it had to be rebid. Council discussed the bids at length and what the scoring mechanisms were for the bidding process. Council would like to discuss that process in depth at a later date. Council was comfortable with that approach.

Mayor Hurt opened the public hearing. The following spoke in support of the item:

- Russ Garrison
- Janelle Benham
- Jay Crowe – representative from the Crowe Group
- Darryl Knight

With no other speakers coming forward, the public hearing was closed.

Councilmember Craver moved to approve the item as presented. Mayor Pro-tem Yates seconded the motion; motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver
NAYS (0): None

23. Resolution: Receive a Report, Hold a Discussion and Take Action on a Resolution of Support and Confirming No Objection for a Senior Apartment Complex Located at 1333 N 6th St.
[ASSIGNED RESOLUTION NO. 40-2026]

Tim Littlejohn, Director of Planning & Development Services, presented the item. Adoption of the item would approve a “Support and Confirmation of No Objection” letter for a senior apartment complex at the above referenced location.

Mayor Hurt opened the public hearing. The following spoke in support of the item:

- Jason Lane, applicant

With no other speakers coming forward, the public hearing was closed.

Councilmember Price moved to approve the item as presented. Councilmember Craver seconded the motion; motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver
NAYS (0): None

24. Ordinance (Final Reading) CUP-2026-01: Receive a Report, Hold a Discussion and Public Hearing, and Take Action on a Request from the Owner to Apply a Conditional Use Permit to a Property to Allow Contractor Services. Located at 8050 Buffalo Gap Road.
[ASSIGNED ORDINANCE NO. 09-2026]

Tim Littlejohn, Director of Planning & Development Services, presented the item. Adoption of the item would apply a Conditional Use Permit (CUP) to allow for contractor services at the above referenced location.

Mayor Hurt opened the public hearing. With no speakers coming forward, the public hearing was closed.

Councilmember Price moved to approve the item as presented with the removal of the number of employees submitted in the plan of operation as a requirement of the CUP. Deputy Mayor Pro-tem Regan seconded the motion; motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver
NAYS (0): None

25. Ordinance (Final Reading) Z-2026-01: Receive a Report, Hold a Discussion and Public Hearing, and Take Action on a Request from the Owner to Change the Zoning of Approximately 2.5 Acres from Residential Single-Family (RS-6) to General Commercial (GC). Located at 1900 West Stamford Street.
[ASSIGNED ORDINANCE NO. 10-2026]

Tim Littlejohn, Director of Planning & Development Services, presented the item. Adoption of the item would rezone the above referenced location from Residential Single-Family (RS-6) to General Commercial (GC).

Mayor Hurt opened the public hearing. With no speakers coming forward, the public hearing was closed.

Councilmember Beard moved to approve the item as presented. Councilmember Craver seconded the motion; motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver
NAYS (0): None

26. Ordinance (Final Reading) Z-2026-03: Receive a Report, Hold a Discussion and Public Hearing, and Take Action on a Request from the Owner to Change the Zoning of Approximately 1.43 Acres from Residential Single Family (RS-6) to General Commercial (GC). Located at 2502 Minter Lane.
[ASSIGNED ORDINANCE NO. 11-2026]

Tim Littlejohn, Director of Planning & Development Services, presented the item. Adoption of the item would rezone the above referenced location from Residential Single Family (RS-6) to General Commercial (GC). Due to the concerns presented by Councilmembers during the first reading of this ordinance, Mr. Littlejohn also presented several other options for Council to consider that would allow the applicant to operate 24 hours, including a PDD and Mixed Use.

Mayor Hurt opened the public hearing. The following spoke in support of the item:

- Megan Dunbar, applicant

With no other speakers coming forward, the public hearing was closed.

Councilmember Price moved to approve a Planned Development District (PDD-196) with Mixed Use Zoning, without the requirement of a Conditional Use Permit (CUP) for a center-based daycare facility. Councilmember Craver seconded the motion; motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver

NAYS (0): None

27. Ordinance (Final Reading) Z-2026-04: Receive a Report, Hold a Discussion, and Take Action on a Request from the Owner to Change the Zoning of Approximately 3.23 Acres from General Retail (GR) to Light Industrial (LI) Zoning. Located at 28 Windmill Circle.
[ASSIGNED ORDINANCE NO. 12-2026]

Tim Littlejohn, Director of Planning & Development Services, presented the item. Adoption of the item would rezone the above referenced location from General Retail (GR) to Light Industrial (LI) Zoning.

Mayor Hurt opened the public hearing. The following spoke in support of the item:

- Clint Rosenbaum, agent

With no other speakers coming forward, the public hearing was closed.

Councilmember Beard moved to approve the item as presented. Councilmember Price seconded the motion; motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver

NAYS (0): None

28. Resolution: Receive a Report, Hold a Discussion and Take Action on Approving a Contract with Dowtech Specialty Contractors, Inc. for the Rental, Emergency Installation, and Operation of Temporary Blower and Variable Frequency Drive (VFD) Systems at the Hamby Wastewater Reclamation Facility
[ASSIGNED RESOLUTION NO. 41-2026]

Matthew Dane, Director of Water Utilities, presented the item. Adoption of the item would approve a contract with Dowtech Specialty Contractors for the rental, emergency installation, and operation of a temporary blower and variable frequency drive systems at the Hamby Wastewater Reclamation Facility, for emergency repairs related to power failures in June of 2025. Mr. Dane went over the emergency and how it was fixed, as well as what still needs to happen.

Mayor Hurt opened the public hearing. The following spoke on the item:

- Luke Roberson

With no other speakers coming forward, the public hearing was closed.

Deputy Mayor Pro-tem Regan moved to approve the item as presented. Councilmember Craver seconded the motion; motion carried.

AYES (7): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard, Espinoza and Craver
NAYS (0): None

29. Resolution: Receive a Report, Hold a Discussion and Take Action on Approving the Emergency Contract with United Rentals, Inc. for Sewer Bypass Pumping Services Related to an Emergency Sewer Overflow
[ASSIGNED RESOLUTION NO. 42-2026]

Councilmember Craver left the meeting during the presentation of this item at 10:39 a.m.

Matthew Dane, Director of Water Utilities, presented the item. Adoption of the item would approve an emergency contract with United Rentals, Inc. for the sewer bypass pumping services related to an emergency sewer overflow into Cedar Creek. Mr. Dane went over the event and how the repairs were made.

Councilmember Beard would like to have the Water Utility employees that worked around the clock on these repairs come to a Council meeting to be recognized in the future.

Mayor Hurt opened the public hearing. With no speakers coming forward, the public hearing was closed.

Councilmember Price moved to approve the item as presented. Mayor Pro-tem Yates seconded the motion; motion carried.

AYES (6): Mayor Hurt, Mayor Pro-tem Yates, Deputy Mayor Pro-tem Regan, and Councilmembers Price, Beard and Espinoza
NAYS (0): None
ABSENT (1): Councilmember Craver

EXECUTIVE SESSION

Mayor Hurt announced that there was no business to discuss during executive session so it was not held.

ADJOURNMENT

There being no further business, the meeting adjourned at 10:45 a.m.

Shawna Atkinson
City Secretary

Weldon Hurt
Mayor

Minutes approved on: _____



**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Don Green, Director

ITEM: 4. Resolution: Receive a Report, Hold a Discussion and Take Action to Purchase One 2027 Freightliner M2 Cab and Chassis with 14ft Ledwell Flatbed Dump Body from Lonestar Truck Group, Abilene, Texas for Parks and Recreation (Don Green)

GENERAL INFORMATION

Fleet Services seeks to purchase One 2027 Freightliner M2 Cab and Chassis with 14ft Ledwell Flatbed Dump Body from Lonestar Truck Group, Abilene, Texas through Sourcewell Cooperative contract # 032824-DAI for Parks and Recreation. This is to replace unit 2687 which is still in service and suffering from age-related reliability issues and repair costs. Repairs will exceed \$12,000 to make the unit viable for routine daily use.

Texas law allows a municipality to purchase goods through a state or local cooperative purchasing program. Sourcewell is such a program, and the purchase meets the competitive bidding requirements.

FUNDING/FISCAL IMPACT

The funds for the purchase are to be provided through the Fleet Replacement Fund and total \$125,115.00. This purchase will be added to the Fiscal Year 2026 Revised Replacement Budget.

STAFF AND/OR BOARD RECOMMENDATION

Unit was not planned to be replaced in FY26, but after considering an estimated cost for a repair that exceeds \$12,000 and the age of the unit, Fleet and Parks and Recreation staffs agree that purchasing a replacement this FY is recommended.

Fleet Services staff recommends the purchase of One 2027 Freightliner M2 Cab and Chassis with 14ft Ledwell Flatbed Dump Body from Lonestar Truck Group, Abilene, Texas through Sourcewell Cooperative contract # 032824-DAI for Parks and Recreation.

ATTACHMENTS:

1. FY26 CO-OP Platform Dump Truck Resolution.
2. FY26 CO-OP Platform Dump Additional Information
3. FY26 CO-OP City of Abi-Qte 2027MY M2 26k Flat Dump Sourcewell Quote 1-26-26
4. FY26 CO-OP Platform Dump Budget vs Actual (1)
5. FY26 CO-OP Platform Dump Truck Presentation PiP

BACKUP DOCUMENTATION UPDATED? No

UPDATED ON:

RESOLUTION NO _____

A RESOLUTION OF THE CITY OF ABILENE, TEXAS

TO PURCHASE ONE 2027 FREIGHTLINER M2 CAB AND CHASSIS WITH 14FT LEDWELL FLATBED DUMP BODY FROM LONESTAR TRUCK GROUP, ABILENE, TX THROUGH SOURCEWELL CO-OPERATIVE CONTRACT #032824-DAI.

WHEREAS, City of Abilene has a need for One 14ft Flatbed Dump Truck; and

WHEREAS, City of Abilene will add Funding for this purchase in the Fiscal Year 2026 Revised Vehicle Replacement Budget; and

WHEREAS, This unit will be a 2027 Freightliner M2 Cab and Chassis with 14ft Ledwell Flatbed Dump Body; and

WHEREAS, City of Abilene received pricing for One 2027 Freightliner M2 Cab and Chassis with 14ft Ledwell Flatbed Dump Body through Sourcewell Co-Operative Contract #032824-DAI, and

WHEREAS, Lonestar Truck Group is the approved Sourcewell vendor for the 14ft Flatbed Dump Truck.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS:

PART 1: That the City Council approves this purchase from Lonestar Truck Group of Abilene Texas in the amount of One Hundred Twenty-Five thousand, One Hundred Fifteen Dollars and Zero Cents. (\$125,115.00) for one 2027 Freightliner M2 Cab and Chassis with 14ft Ledwell Flatbed Dump Body through Sourcewell Co-Operative Contract #032824-DAI.

PART 2: That this resolution shall take effect immediately from and after passage

ADOPTED this 26th day February 2026

ATTEST:

Shawna Atkinson, City Secretary

Weldon Hurt, Mayor

APPROVED:

Stanley Smith, City Attorney

ADDITIONAL INFORMATION FOR COUNCIL MEETING ITEM
Flat Bed Dump Truck

Unit #	Assignment	Year	Make	Model	Mileage	Hours	Total Maintenance Costs	Disposal Method	Points	Replacement Reasoning
2867	Parks	1999	International	4,700	62,994	NA	\$54,358.00	Auction	3	Repeated safety issues with Air Braking systems

Unit is being added to FY26 Revised Replacement due to age and repeated issues causing safety issues while driving

Lonestar Truck Group



502 W. Overland Trail Abilene, Tx 79601

Main: 325-677-8187

SOURCEWELL QUOTE SHEET

1/27/26

City of Abilene
555 Walnut
Abilene, TX 79604

Member Account #

Daimler Contract # 032824-DAI

2027 Freightliner M2
Spec File- "CofAbilene- 2027MY Flatbed Dump 26k"

Chassis Price

Pre Discount Price:	\$127,289
Sourcewell Discount:	\$37,244 (29.26%)
Discounted Price to Sourcewell Member:	\$90,045

Non-Discountable Items

Tariff Increase:	\$1,500
Freight From Factory:	\$3,375
2027MY Increase:	\$2,500
Carb-Base Warranty Charge 6.7:	\$1,445
Cummins Tariff Charge:	\$ 205
GHG24 Surcharge-Cummins	\$ 791

Total Chassis Price: \$99,861

Ledwell Body-Qte# MQTE0019992: \$25,254

Final Selling Price: \$125,115

Quantity: 1

Total PO Amount: \$125,115

***THIS QUOTE IS GOOD FOR 30 DAYS**

***SUBJECT TO FACTORY RAW MATERIAL SURCHARGES, TARIFFS & FREIGHT INCREASES**

***CUSTOMER CONCESSION PRICING WILL BE RE-EVALUATED EACH QUARTER IN CY2026 PER DTNA**

APPROVAL:

Please indicate your acceptance of this quotation & specification by signing below:

Customer: X _____ Date: ___ / ___ / ___.

.

BUDGET vs ACTUAL COSTS

Platform Dump Truck

Repl For Unit #	Division #	Division Name	Type Equipment	Budgeted Cost	Actual Cost	Budgeted vs Actual Variance
2867	5301	Parks and Recreation	Platform Dump Truck	\$105,000.00	\$125,115.00	\$20,115.00

This unit will be added to the FY26 Revised due to age and repeated issues causing safety concerns while driving. Unit is being taken out of service.

\$105,000.00 \$125,115.00 \$20,115.00

Flatbed Dump Truck





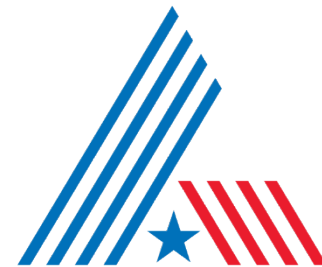
Flatbed Dump Truck

- Replacing unit 2867 for Parks
- Purchase for One (1) 2027 Freightliner M2 Cab and Chassis with 14ft Ledwell Flatbed Dump Body.
- Unit to be purchased from Lonestar Truck Group, Abilene through Sourcewell contract number # 032824-DAI.





Flatbed Dump Truck



CITY OF
ABILENE
T E X A S



**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Marjorie Knight, Director of Finance
ITEM: 5. Resolution: Receive a Report, Hold a Discussion and Take Action on Awarding a Contract for Printing Services to HVC RAM, LLC dba AlphaGraphics (*Marjorie Knight*)

GENERAL INFORMATION

With the closing of the City’s prior printing company, the City issued Request for Proposal (RFP) #CB-2624 on January 16, 2026 to solicit qualified vendors to provide comprehensive printing services. The contract will support recurring and on-demand printing needs across City departments, including envelopes, business cards, employee name tags, financial publications, and other departmental printing needs. The City received one proposal and staff recommends award to HVC & RAM, LLC dba AlphaGraphics.

In accordance with the criteria outlined in the RFP, the proposal was evaluated based on ability to print and deliver services (50 points), performance on similar contracts (25 points), RFP completeness (10 points), and price (15 points). AlphaGraphics demonstrated local operational capacity with printing capabilities, established production and quality control processes, the ability to meet standard turnaround timelines of four (4) days or less for routine items, and experience with serving public clients. Pricing provided was reasonable and comparable with the City’s prior contract, which was established in 2020. Below is a sample of proposed pricing on select items in comparison to the prior contract.

Selected Item	Prior Pricing	Proposed Pricing
20 # White 8.5" x 11" (per copy)	\$.04	\$.05
Letterhead paper (per copy)	\$.09	\$.10
#10 Regular Envelopes (500 per box)	\$75.00	\$75.00
250 Business Cards	\$39.95	\$27.87

Pricing is unit-based and will be utilized on an as-needed basis by departments. The contract term is for one (1) year with four (4) optional one-year renewals.

FUNDING/FISCAL IMPACT

Funding is available within individual departmental operating budgets. Estimated annual city-wide cost is approximately \$50,000.

STAFF AND/OR BOARD RECOMMENDATION

Staff recommends award of the contract for printing services to HVC RAM, LLC dba AlphaGraphics.

ATTACHMENTS:

1. Resolution Awarding Printing Services Contract HVC & RAM LLC dba AlphaGraphics

2. AlphaGraphics Printing Contract
3. Presentation - Awarding Printing Services to AlphaGraphics

BACKUP DOCUMENTATION UPDATED? Yes UPDATED ON: 02/24/2026

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS
AWARDING A CONTRACT FOR PRINTING SERVICES TO
HVC & RAM, LLC DBA ALPHAGRAPHICS.**

WHEREAS, the City's printing services contract is in need of renewal; and,

WHEREAS, City staff issued a request for proposal for the printing services; and

WHEREAS, advertisements were published on January 18th and January 25th, 2026 in the Abilene Reporter News; and

WHEREAS, one vendor submitted a proposal, HVC & RAM, LLC dba AlphaGraphics; and

WHEREAS, the following criteria was used to determine the most advantageous proposal for the City of Abilene; (a) proposer's ability to print and deliver material as required, (b) performance on similar contracts, (c) completeness of the request for proposal, and (d) price; and

WHEREAS, HVC & RAM, LLC dba AlphaGraphics provided the most advantageous proposal for the City of Abilene.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS:

Part 1: The City Council approves awarding the printing services contract to HVC & RAM, LLC dba AlphaGraphics for a period of one year with an option to renew for four additional one-year periods.

Part 2: That this Resolution shall take effect immediately from and after passage.

ADOPTED this 26th day of February, 2026.

ATTEST:

Shawna Atkinson, City Secretary

Weldon Hurt, Mayor

APPROVED:

Stanley Smith, City Attorney



SERVICES CONTRACT

This Contract, dated the 26th day of February, 2026, is between the City of Abilene, a home rule municipal corporation of the State of Texas (“City”), and HVC RAM, LLC dba AlphaGraphics a limited liability company organized under the laws of the State of Texas (“Contractor”).

The purpose of this services contract is to state the terms and conditions under which Contractor will provide printing services services to the City during the term stated herein.

In consideration of the mutual promises contained in this contract, City and Contractor agree as follows:

I. TERMS

Contractor must provide all services as described in Attachment A, which is incorporated by reference for all purposes within 365 calendar days after the effective date of this Contract.

II. PAYMENT

For the services to be rendered under this Contract, the Contractor will be entitled to a fee as described in Attachment B, which is incorporated by reference for all purposes.

III. MATERIALS AND SUPPLIES

The Contractor will furnish all materials and equipment necessary to perform the services agreed to under this Contract, which are to be supplied by the Contractor.

IV. TERMINATION

This Contract may be canceled or terminated by either party for (1) the other party's violation or failure to comply with any terms or conditions contained herein, or (2) upon the giving of sixty (60) days written notice by either party of the desire to terminate the same. Upon the termination of this Contract as provided herein, an accounting shall be made between the parties and payments made to the parties as provided for herein to the day of termination. For any funding beyond the current fiscal year, the City reserves the right to immediately terminate this Contract by giving written notice, without liability to the City, in the event that funding for this Contract is

discontinued or is no longer available. The City's fiscal year runs from October 1st to September 30th.

V. ASSIGNMENT

The Contractor may not assign, in whole or in part, any rights, duties, obligations, or interest arising from this Contract without the City's prior written consent. In the event of an assignment by the Contractor to which the City has consented, the assignee or assignee's legal representative must agree in writing with the City to personally assume, perform, and be bound by all the provisions of this Contract. All of the terms and provisions of this Contract are binding on Contractor's successors and assigns and may be enforced by the City against such successors and assigns.

VI. STATUS OF CONTRACTOR

The Contractor is an Independent Contractor. Contractor and Contractor's employees are not the agents, servants, or employees of the City.

VII. AMENDMENT OR MODIFICATION

This Contract, including attachments, constitutes the entire agreement of the parties. Any statements, promises, or agreements made by either party or its agent, which are not contained in this Contract are of no effect. This Contract may not be amended or modified except by both parties' written consent. This Contract supersedes any prior understandings or written or oral agreements between the parties respecting the subject matter of this Contract.

VIII. INDEMNITY

A. Definitions

For the purpose of this section the following definitions apply:

"City" shall mean all officers, agents, and employees of the City of Abilene.

"Claims" shall mean all claims, liens, suits, demands, accusations, allegations, assertions, complaints, petitions, proceedings, and causes of action of every kind and description brought for damages.

"Contractor" includes the corporation, company, partnership, or other entity, its owners, officers, and/or partners, and their agents, successors, and assigns.

"Contractor's employees" shall mean any employees, officers, agents, subcontractors, licensees, and invitees of Contractor.

“Damages” shall mean each and every injury, wound, hurt, harm, fee, damage, cost, expense, outlay, expenditure, or loss of any and every nature, including but not limited to:

- (i) injury or damage to any property or right;
- (ii) injury, damage, or death to any person or entity;
- (iii) attorneys fees, witness fees, expert witness fees and expenses; and
- (iv) all other costs and expenses of litigation.

“Premise Defects” shall mean any defect, real or alleged, which now exists or which may hereafter arise upon the premises.

“Proven” shall mean that a court of competent jurisdiction has entered a final unappealable judgment on a claim adjudging an entity or person liable for a monetary judgment.

“Sole negligence” shall mean negligence of a party that is unmixed with the fault of any other person or entity.

B. Indemnity

The Contractor must indemnify, hold harmless, and defend the City from and against liability for any claims arising out of the Contractor's work and activities conducted in connection with this Contract.

The Contractor is an independent contractor and is not, with respect to its acts or omissions, an agent or employee of the City.

Contractor must at all times exercise reasonable precautions on behalf of, and be solely responsible for, the safety of Contractor's employees while in the vicinity where the work is being done. The City is not liable or responsible for the negligence or intentional acts or omissions of the Contractor or Contractor's employees.

The City assumes no responsibility or liability for damages which are directly or indirectly attributable to premise defects. Responsibility for all such defects is expressly assumed by the Contractor.

The City and Contractor must provide the other prompt and timely notice of any covered event which in any way affects or might affect the Contractor or City. The City has the right to compromise and defend the same to the extent of its own interests.

BOTH CITY AND CONTRACTOR EXPRESSLY INTEND THIS CONTRACT'S INDEMNITY PROVISION TO REQUIRE CONTRACTOR TO INDEMNIFY AND PROTECT THE CITY FROM THE CONSEQUENCES OF THE CITY'S OWN

NEGLIGENCE WHILE CITY IS PARTICIPATING IN THIS CONTRACT, WHERE THAT NEGLIGENCE IS A CONCURRING CAUSE OF THE DAMAGES. THIS CONTRACT'S INDEMNITY PROVISION DOES NOT APPLY TO ANY CLAIM WHERE DAMAGE IS PROVEN TO RESULT FROM THE SOLE NEGLIGENCE OF THE CITY.

IX. INSURANCE

A. GENERAL REQUIREMENTS

The Contractor agrees to maintain the type and amounts of insurance required in this Contract throughout the term of the agreement. The Contractor is solely responsible for providing the required certificates of insurance. The City may terminate this Contract if the Contractor fails to timely comply with the insurance requirements.

The required insurance must be issued by a company or companies of sound and adequate financial responsibility and authorized to do business in the State of Texas. All policies are subject to examination and approval by the City for their adequacy as to content, form of protection, and providing company.

The required insurance naming the City as additional insured must be primary insurance and not contributing with any other insurance available to City, under any third party liability policy.

Before the City executes the notice to proceed with any work under this Contract, the Contractor must provide the City Secretary with either an original certificate of insurance or a certified copy of the insurance policy evidencing the required insurance. Thereafter, the Contractor must furnish new certificates or copies of the policy before the expiration date.

Texas Labor Code Section 406.096 requires a city to ensure that contractors carry workers' compensation for each employee when the city is a party to any "building or construction contract." The Code enumerates that "building and construction" includes:

- (A) erecting or preparing to erect a structure, including a building, bridge, roadway, public utility facility, or related appurtenance;
- (B) remodeling, extending, repairing, or demolishing a structure; or
- (C) otherwise improving real property or an appurtenance to real property through similar activities.

B. ADDITIONAL REQUIREMENTS

The required liability insurances and their certificates shall:

1. Name the City as an additional insured with respect to operations for which this Contract is made.
2. Provide for thirty (30) day advance written notice of cancellation or material change.

C. TYPES AND AMOUNT OF INSURANCE

The types of insurance required in this Contract are those indicated by initials. If no initials appear on any of items 1 through 6, items 1 through 4 shall be required.

<u>Type</u>	<u>Amount</u>
<input type="checkbox"/> 1. Workers' Compensation Employer's Liability	Statutory \$100,000 per occurrence
<input type="checkbox"/> 2. Commercial (Public) Liability including, but not limited to: • Premises/Operations • Independent Contractors • Products/Completed Operations • Contractual Liability (Insuring above indemnity) and where the exposures exist • Explosion Collapse and Underground	\$500,000 combined single limit for bodily injury and property damage (per occurrence)
<input type="checkbox"/> 3. Business Automobile Liability to include coverage for: • Owned/Leased Autos • Non-Owned Autos • Hired Cars	\$500,000 combined single limit for bodily injury and property damage (per occurrence)
<input type="checkbox"/> 4. Professional Liability	\$500,000 combined single limit (per occurrence)
<input type="checkbox"/> 5. See Addendum for Special Coverages and/or revisions	
<input checked="" type="checkbox"/> 6. No Insurance Required	

X. VENUE, CHOICE OF LAW, AND INTERPRETATION

Venue for any cause of action arising under this Contract is Taylor County, Texas. This contract is governed by the laws of the State of Texas both as to interpretation and performance. This Contract shall, in any dispute over its meaning or application, be interpreted fairly and reasonably, and not more strongly for or against either party.

XI. NOTICE

All notices must be in writing, hand-delivered or mailed by certified mail, to the other party at the address below. The name and address for notification may be changed by notice to the other party.

City - ATTN: Marjorie Knight Director of Finance
555 Walnut Street
Abilene, Texas 79601

Contractor - ATTN: Tim de la Vega Owner / President
802 North 3rd Street
Abilene, Texas 79601

XII. COMPLIANCE WITH LAWS, CHARTER, ORDINANCES

Contractor, its agents, employees, and subcontractors must comply with all applicable federal and state laws, the charter and ordinances of the City of Abilene, and with all applicable rules and regulations promulgated by local, state, and national boards, bureaus, and agencies. Contractor must obtain all necessary permits and licenses required in completing the work contracted for in this agreement.

XIII. NO INDEBTEDNESS

Contractor agrees that no payments owed by him of any nature whatsoever to the City, including payment in advance for service charges or any sums of any character whatsoever, shall become delinquent or in arrears.

The City will not knowingly award contracts for goods or services to any bidder in arrears to the City for any debt, claim, demand, or account whatsoever, including taxes, penalty, and interest. Contractor is responsible for ensuring that no indebtedness exists.

Section 130 of the City Charter authorizes the City to counterclaim and offset against any debt, claim, demand, or account owed by the City to any person, firm, or corporation in arrears to the City for any debt, claim, demand, or account of any nature whatsoever, including taxes, penalty, and interest.

XIV. EQUAL EMPLOYMENT OPPORTUNITY

It is the policy of the City to recruit, employ, and to provide compensation, promotion, and other conditions of employment without regard to race, color, religion, sex, age, national origin, or disability. The City affirms that employment decisions shall be made only on the basis of bona fide occupational qualifications. The City shall continually review its employment practices and

personnel procedures and take positive steps to assure that equality of employment opportunity in the City of Abilene, Texas, is a fact, as well as an ideal.

XV. VERIFICATION OF EMPLOYMENT ELIGIBILITY

Contractor must comply with the Immigration Reform and Control Act (IRCA) and may not knowingly obtain labor or services of an unauthorized alien. Service Contractor-- not City -- must verify eligibility for employment as required by IRCA.

XVI. MINORITY AND WOMEN BUSINESS ENTERPRISES

The City hereby gives notice that Minority and Women Business Enterprises will be afforded equal opportunities to submit bids for this Contract and will not be discriminated against on the grounds of race, ethnicity, color, sex, religion, or national origin in awarding the contract. Technical assistance is available to Minority and Women Business Enterprises through the Texas Tech University Small Business Development Center, 749 Gateway St., #301, Building C, Abilene, Texas, 79602, 325-670-0300.

XVII. SALES TAX

The City qualifies as an exempt agency under the Texas Limited Sales, Excise and Use Tax Act (the "Tax Act"), and is not subject to any State or City sales taxes on materials incorporated into the project. Labor used in the performance of this Contract is also not subject to State or City sales taxes. The City will provide an exemption certificate to the Contractor. The Contractor must have a sales tax permit issued by the Comptroller of Public Accounts and shall issue a resale certificate complying with the Tax Act, as amended, when purchasing said materials. The Contractor is responsible for any sales taxes applicable to equipment purchases, rentals, leases, consumable supplies which are not incorporated into the project, tangible personal property purchased for use in the performance of this Contract and not completely consumed, or other taxable services used to perform this Contract, or other taxes required by law in connection with this Contract.

XVIII. LEGAL CONSTRUCTION

In the event that any one or more of the provisions contained in this Contract is for any reason held to be invalid, illegal, or unenforceable in any respect, that invalidity, illegality, or unenforceability will not affect any other provisions, and the Contract will be construed as if the invalid, illegal, or unenforceable provision had never been contained in it.

XIX. STATUTORY VERIFICATIONS

Verification Against Boycott of Israel Provision. In accordance with Chapter 2271 of the Texas Government Code, a Texas governmental entity may not enter into an agreement with a company for the provision of goods or services unless the agreement contains a written verification from the company that it: (1) does not boycott Israel; and (2) will not boycott Israel during the term of the agreement. The term “company” does not include a sole proprietorship. Chapter 2271 of the Texas Government Code only applies to an agreement that: (1) is between a governmental entity and a company with 10 or more full-time employees; and (2) has a value of \$100,000.00 or more that is paid wholly or partly from public funds of the governmental entity.

Verification Against Discrimination of Firearm or Ammunition Industries Provision. Pursuant to Texas Government Code Chapter 2274, unless otherwise exempt, if the company employs at least 10 full-time employees, and this agreement has a value of at least \$100,000 that is paid wholly or partly from public funds of the City, the company verifies that: (1) the company does not have a practice, policy, guidance, or directive that discriminates against a firearm entity or firearm trade association; and (2) the company will not discriminate during the term of the Agreement against a firearm entity or firearm trade association. The term “company” does not include a sole proprietorship. This provision does not apply to a governmental entity that contracts with a sole-source provider, or does not receive any bids from a company that is able to provide the written verification required.

Verification Against Boycott of Energy Companies Provision. Pursuant to Texas Government Code Chapter 2276, unless otherwise exempt, if the company employs at least 10 full-time employees, and this Agreement has a value of at least \$100,000 that is paid wholly or partly from public funds of the City, the company represents that: (1) the company does not boycott energy companies; and (2) the company will not boycott energy companies during the term of this Agreement. The term “company” does not include a sole proprietorship. This provision does not apply to a governmental entity that determines the requirements are inconsistent with the governmental entity’s constitutional or statutory duties related to the issuance, incurrence, or management of debt obligations or the deposit, custody, management, borrowing, or investment of funds.

Prohibition on Contracts with Certain Companies Provision. In accordance with Section 2252.152 of the Texas Government Code, the company verifies that company is not on a list maintained by the State Comptroller’s office prepared and maintained pursuant to Section 2252.153 of the Texas Government Code.

Unless the Contractor is not subject to a provision above, the signatory executing this Contract on behalf of the Contractor verifies that the Contractor: (1) does not boycott Israel and will not boycott Israel during the term of this Contract; (2) does not have a practice, policy, guidance, or directive that discriminates against a firearm entity or firearm trade association, and will not discriminate during the term of this Contract against a firearm entity or firearm trade association; (3) does not boycott energy companies, and will not boycott energy companies during the term of this Contract; and (4) is not on a list maintained by the State Comptroller’s office prepared and maintained pursuant to Section 2252.153 of the Texas Government Code.

XX. SECTIONS AND OTHER HEADINGS

Section, paragraph, and other headings contained in this Contract are for reference purposes only and do not affect in any way the meaning or interpretation of this Contract.

XXI. COUNTERPARTS

This Contract may be executed in two or more counterparts (including fax, email, or electronic PDF counterparts), each of which shall be deemed an original and all of which together shall constitute one instrument.

{Remainder of Page Intentionally Left Blank—Signature Page Follows}

IN WITNESS HEREOF the parties have entered into this agreement as of the date written above.

CITY OF ABILENE

By: Emily Crawford

Title: City Manager

CONTRACTOR

By: Tim de la Vega

Title: Owner / President

Address:
802 North 3rd Street, Abilene, Texas, 79601

Phone Number:
325-673-0377

Federal Tax ID #:
[REDACTED]

ATTEST:

City Secretary

APPROVED:

City Attorney

ATTEST: (If Corporation)



Corporation's Secretary

Corporate Seal (If available):

ATTACHMENT A
SCOPE OF SERVICES

See attachment which is incorporated herein for all purposes.

Attachment A

PRINTING SERVICES RFP #CB-2624

SCOPE OF SERVICES

Vendor shall provide comprehensive printing services for one (1) year with the option to extend for four (4) additional one (1) year terms at the same terms and conditions.

Services include, but are not limited to, official stationery, envelopes, business cards, employee nametags, budget and financial publications, and other print jobs as needed.

Vendor must consistently meet required turnaround times, maintain brand standards, and support routine, priority, and emergency requests.

All printed materials must comply with the City of Abilene's official brand standards, including Pantone color matching, fonts, and logo placement. It will be the City's responsibility to provide Brand Guide updates or changes to the vendor.

GENERAL REQUIREMENTS

Ordering and Distribution

- All orders shall be submitted in writing by City staff.
- All orders must be separately marked and packaged by job and department.
- Jobs must be completed and distributed within requested timeframes during normal business hours (8:00 a.m. – 5:00 p.m.).
- Incorrectly printed, damaged, misdistributed, or erroneous jobs shall be corrected at no cost to the City.
- No service charges will be paid for returned items due to contractor error or overages.

Failure to meet specifications may result in:

Possible termination of the contract for repeated or material failures.

WORK REQUEST TYPES

The successful proposer shall develop a Work Request Form that supports the following categories:

- Routine Work Requests

- Completion required within four (4) business days from receipt.
- Priority Work Requests
 - Completion required within twenty-four (24) hours from receipt.
- Emergency Work Requests
 - Same-day turnaround required.
 - May include printing, copying, collating, binding, inserts, tabs, or similar services.

The requesting City department/division has sole authority to designate a request as routine, priority, or emergency.

If the Contractor fails to meet delivery requirements, the City may obtain services from another source.

All costs incurred due to contractor default shall be reimbursed by the Contractor. The City reserves the right to immediately terminate the contract for material default.

INVOICES AND PAYMENTS

- Net 30 days
- Itemized invoices required per order
- No sales or excise tax permitted
- Invoices must include:
- Location/building
 - Address
 - Requesting department/division with three (3) digit cost code
 - Service type (routine, priority, emergency)
 - Item(s) & Quantity
 - Date of service

ATTACHMENT B

**PAYMENT SCHEDULE
PARTIES TO INITIAL OPTION(S) SELECTED**

OPTION 1 X

Compensation is based on actual hours of work/time devoted to providing the described services and will be paid at a rate of \$[See attachment which is incorporated herein] per hour, or per the attached schedule, not to exceed \$[See attachment].

Contractor must submit monthly invoices to City accompanied by an explanation of charges, professional fees, and services. City will pay invoices according to its normal payment procedures.

OPTION 2 ____

Payment is in a lump sum amount of \$Click or tap here to enter text. upon completion of the work and written acceptance by the City.

No mechanic, contractor, subcontractor, materialman, or other person can or will contract for or in any other manner have or acquire any lien upon any building or work covered by the contract or the land upon which the same is situated.

Before final acceptance of this project by the City, if required by the City, the Contractor must execute and provide City with an Affidavit that all bills for labor, materials and incidentals incurred by subcontractors, materialmen, mechanics, and suppliers under this Contract have been paid in full, and that there are no claims pending of which Contractor has been notified.

OPTION 3 ____

Payment is a fixed fee amount of \$Click or tap here to enter text. payable per Click or tap here to enter text. upon completion of the work and written acceptance by the City.

No mechanic, contractor, subcontractor, materialman, or other person can or will contract for or in any other manner have or acquire any lien upon any building or work covered by the contract or the land upon which the same is situated.

Before final acceptance of this project by the City, if required by the City, the Contractor shall execute and provide City with an Affidavit that all bills for labor, materials, and incidentals incurred by subcontractors, materialmen, mechanics, and suppliers under this Contract have been paid in full, and that there are no claims pending of which Contractor has been notified.

ATTACHMENT B - PRICING



Tim de la Vega

802 North 3rd Street • Abilene, TX 79601

Phone: (325) 670377

Email: tim.delavega@alphagraphics.com

www.alphagraphics.com • www.hvc-ram.com

February 5, 2026

In 2012 Tim de la Vega purchased H.V. Chapman & Sons from Stan Chapman. H.V. Chapman has been manufacturing books in downtown Abilene since 1947 (79 Years). In 2015 Ram Business Forms was purchased from Andy Esparza and combined with HVC to form HVC&RAM, LLC. In 2023 Ram Business Forms was phased out and an AlphaGraphics franchise was purchased to operate alongside HVC.

AlphaGraphics Abilene has 3 full time employees and 3 part time employees. Tim is a 3rd generation printer and has worked in the print/mail industry over 40 years including 18 with Abilene Independent School District and 7 years with West Texas Utilities (now AEP). We have over 130 years of experience in the printing and book manufacturing industry.

We currently have 2 Canon digital printers, one that is scheduled to be replaced in 2026, along with all the necessary bindery equipment to finish out our print projects. We also have book manufacturing equipment and also wide format printing equipment for printing banners and window/wall graphics and a construction drawings printer that is about to come on line. We use all the latest of the Adobe Creative Suite graphics programs and have a full-time graphic designer. We offer all range of print services from business cards, envelopes, letterhead, forms and booklets and brochures. We also offer a wide range of wide format printing services including window/wall graphics and small to medium signage. We continue to offer book manufacturing which includes hard cover books, soft cover books and report style books.

With many years of experience printing in the in-plant setting, printing for large organizations such as Abilene ISD, we are confident in our ability to service the City of Abilene at a high level.

References

City of Haskell:

Haskell CISD:

Knox County CISD:

Knox County Hospital:

Merkel High School:

Scope of Work Pricing

A. Letterhead

- a. 500 - \$50.00
- b. 1000 - \$100.00
- c. 5000 - \$500.00

B. Envelopes

a. #10 Regular

- i. 500 \$75.00
- ii. 1000 \$150.00
- iii. 5000 \$750.00

b. 9x12 Catalog/Booklet

- i. 500 \$150.00
- ii. 1000 \$300.00
- iii. 5000 \$750.00

C. Business Cards

- a. 250 - \$27.87 per box
- b. 500 - \$46.07 per box

D. Name Tags

- a. 50 - \$13.5 each

E. Budget Book

- a. 33 books - \$2,127.08

F. Annual Report

- a. 14 books - \$950.10

Production/Quality Control

Production

Once orders are received, they are placed in our estimate/tracking system and a job ticket is generated. This ticket follows the job through the shop until completion. A daily meeting is held by our team to make sure jobs are moving along according to the schedule.

Quality Control

Each job is proofed by the customer, if necessary, before we start production. It is checked for quality as each stage is completed. The person packaging performs a final quality check and the person delivering checks the job prior to delivery.

Turn-Around Times

Our standard turn-around would be 3 days or less for business cards, envelopes and letterheads. Turn around for other items will be determined by our customer's need and or time requirements.

Ordering/Fulfillment

Ordering Process

We will accept orders via email, phone and we also have an online ordering portal that can be customized with commonly ordered items. This allows end users to place and proof orders (business cards, envelopes etc.) which would be approved by their supervisor and or purchasing department and then come to us in the form of an email with a print file.

Delivery Process/Logistics

Delivery will be daily or as necessary.

ATTACHMENT B - PRICING

CITY OF ABILENE PRINTING SERVICES RFP #CB-2624

PROPOSAL FORM – ATTACHMENT A

DESCRIPTION	ROUTINE WORK REQUEST (4 DAYS) DELIVERY	SURCHARGE FOR PRIORITY WORK REQUEST (24 HR) DELIVERY	SURCHARGE FOR EMERGENCY WORK REQUEST (SAME DAY) DELIVERY
20# WHITE 8.5"x11"	\$.05 per copy	0 %	0 %
20# WHITE 8.5"x14"	\$.06 per copy	0 %	0 %
20# COLOR 8.5"x11"	\$.06 per copy	0 %	0 %
20# COLOR 8.5"x14"	\$.07 per copy	0 %	0 %
20# WHITE 3-HOLE PUNCHED, 8.5"x11"	\$.06 per copy	0 %	0 %
110# WHITE INDEX 8.5"x11"	\$.09 per copy	0 %	0 %
110# COLOR INDEX 8.5"x11"	\$.10 per copy	0 %	0 %
60# WHITE OFFSET 8.5"x11"	\$.065 per copy	0 %	0 %
60# BRIGHT COLOR 8.5"x11"	\$.075 per copy	0 %	0 %
LETTERHEAD PAPER, CREAM (500 PER BX)	\$.10 per copy	0 %	0 %
LETTERHEAD PAPER, WHITE (500 PER BX)	\$.10 per copy	0 %	0 %
LETTERHEAD #10 ENVELOPES, CREAM (500 PER BX)	\$.15 per copy	0 %	0 %
LETTERHEAD #10 ENVELOPES, WHITE (500 PER BX)	\$.15 per copy	0 %	0 %
LETTERHEAD #10 WINDOW ENVELOPES, WHITE (500 PER BX)	\$.16 per copy	0 %	0 %
2-PART NCR SUPERIOR 8.5"x11"	\$.19 per copy	0 %	0 %
2-PART NCR SUPERIOR 8.5"x14"	\$.21 per copy	0 %	0 %
3-PART NCR SUPERIOR 8.5"x11"	\$.25 per copy	0 %	0 %
3-PART NCR SUPERIOR 8.5"x14"	\$.27 per copy	0 %	0 %
4-PART NCR SUPERIOR 8.5"x11"	\$.22 per copy	0 %	0 %
4-PART NCR SUPERIOR 8.5"x14"	\$.25 per copy	0 %	0 %
BINDING	\$ 1.25 per copy	0 %	0 %

ATTACHMENT B - PRICING

DESCRIPTION	\$	per copy	SURCHARGE FOR PRIORITY WORK REQUEST (24 HR) DELIVERY	SURCHARGE FOR EMERGENCY WORK REQUEST (SAME DAY) DELIVERY
CUTTING	\$.02	per copy	0 %	0 %
FOLDING	\$.05	per copy	0 %	0 %
COLLATING	\$.10	per copy	0 %	0 %
DRILLING	\$.02	per copy	0 %	0 %
STAPLING	\$.02	per copy	0 %	0 %
PADDING	\$.05	per copy	0 %	0 %
GBC PUNCH & BIND	\$ 1.75	per copy	0 %	0 %
ADD'L RATE - 2 COLOR COPYING	\$.27	per copy	0 %	0 %
ADD'L RATE - 3 COLOR COPYING	\$.27	per copy	0 %	0 %
ADD'L RATE - 4 COLOR COPYING	\$.27	per copy	0 %	0 %


The undersigned hereby offers to furnish and deliver the articles or services as specified above at the prices and terms there stated and in strict accordance with the specifications of the proposal, all of which are made part of this offer.

Company Name HVC&RAM, LLC dba AlphaGraphics Abilene

Address 802 North 3rd Street City, State & Zip Abilene, TX 79601

Phone (325) 673-0377

Email tim.delavega@alphagraphics.com


Authorized Representative - Signature

Date February 4, 2026

Tim de la Vega
Authorized Representative - Print

Addendums Received _____

ATTACHMENT C

STATE MANDATED WORKERS' COMPENSATION INSURANCE LANGUAGE THIS ATTACHMENT IS ONLY APPLICABLE IF WORKERS' COMPENSATION COVERAGE IS PROVIDED

a. Definitions

Certificate of coverage ("certificate") - a copy of a certificate of insurance, a certificate of authority to self-insure issued by the commission, or a coverage agreement (TWCC-81, TWCC-82, TWCC-83, or TWCC-84), showing statutory workers' compensation insurance coverage for the person's or entity's employees providing services on a project, for the duration of the project.

Duration of the project - includes the time from the beginning of the work on the project until the Contractor's work on the project has been completed and accepted by the City.

Persons providing services on the project ("subcontractors" in 406.096) - includes all persons or entities performing all or part of the services the Contractor has undertaken to perform on the project, regardless of whether that person contracted directly with the Contractor and regardless of whether that person has employees. This includes, without limitation, independent contractors, subcontractors, leasing companies, motor carriers, owner-operators, employees of any such entity, or employees of any entity which furnishes persons to provide services on the project. "Services" include, without limitations, providing, hauling, or delivering equipment or materials, or providing labor, transportation, or other service(s) related to a project. "Services" does not include activities unrelated to the project, such as food/beverage vendors, office supply deliveries, and delivery of portable toilets.

b. The Contractor shall provide coverage, based on proper reporting of classification codes and payroll amounts and filing of any coverage agreements, which meets the statutory requirements of Texas Labor Code, Section 401.011(44) for all employees of the Contractor providing services on the project, for the duration of the project.

c. The Contractor must provide a certificate of coverage to the City prior to being awarded the contract.

d. If the coverage period shown on the Contractor's current certificate of coverage ends during the duration of the project, the Contractor must, prior to the end of the coverage period, file a new certificate of coverage with the City showing that coverage has been extended.

e. Contractor shall obtain from each person providing services on a project and provide to City:

(1) a certificate of coverage, prior to that person beginning work on the project, so the City will have on file certificates of coverage showing coverage for all persons providing services on the project; and

(2) no later than seven (7) days after receipt by the Contractor, a new certificate of coverage showing extension of coverage, if the coverage period shown on the current certificate of coverage ends during the duration of the project.

f. The Contractor shall retain all required certificates of coverage for the duration of the project and for one (1) year thereafter.

g. The Contractor shall notify the City in writing by certified mail or personal delivery, within ten (10) days after the Contractor knew or should have known, of any change that materially affects the provision of coverage of any person providing services on the project.

h. The Contractor shall post on each project site a notice, in the text, form, and manner prescribed by the Texas Workers' Compensation Commission, informing all persons providing services on the project that they are required to be covered, and stating how a person may verify coverage and report lack of coverage.

i. The Contractor shall contractually require each person with whom it contracts to provide services on a project to:

(1) provide coverage, based on proper reporting of classification codes and payroll amounts and filing of any coverage agreements, which meets the statutory requirements of Texas Labor Code, Section 401.011(44) for all of its employees providing services on the project, for the duration of the project;

(2) provide to the Contractor, prior to that person beginning work on the project, a certificate of coverage showing that coverage is being provided for all employees of the person providing service on the project, for the duration of the project;

(3) provide the Contractor, prior to the end of the coverage period, a new certificate of coverage showing extension of coverage, if the coverage period shown on the current certificate of coverage ends during the duration of the project;

(4) obtain from each other person with whom it contracts, and provide to the Contractor:

(a) a certificate of coverage, prior to the other person beginning work on the project; and

(b) a new certificate of coverage showing extension of coverage, prior to the end of the coverage period, if the coverage period shown on the current certificate of coverage ends during the duration of the project;

(5) retain all required certificates of coverage on file for the duration of the project and for one (1) year thereafter;

(6) notify the City in writing by certified mail or personal delivery, within ten (10) days after the person knew or should have known, of any change that materially affects the provision of coverage of any person providing service on the project;

(7) contractually require each person with whom it contracts, to perform as required by paragraphs (1) - (7), with the certificates of coverage to be provided to the person for whom they are providing services.

- j. By signing this Contract or providing or causing to be provided a certificate of coverage, the Contractor is representing to the City that all employees of the Contractor who will provide services on the project will be covered by workers' compensation coverage for the duration of the project, that the coverage will be based on proper reporting of classification codes and payroll amounts, and that all coverage agreements will be filed with the appropriate insurance carrier or, in the case of a self-insured, with the commission's Division of Self-Insurance Regulation. Providing false or misleading information may subject the Contractor to administrative penalties, criminal penalties, civil penalties, or other civil actions.
- k. The Contractor's failure to comply with any of these provisions is a breach of contract by the Contractor which entitles the City to declare the Contract void if the Contractor does not remedy the breach within ten (10) days after receipt of notice of breach from the City.

(End of Document)

Resolution – Contract HVC & Ram, LLC dba AlphaGraphics for Printing Services





Contract HVC & Ram, LLC dba AlphaGraphics for Printing Services

- The City's prior contract for printing services ended in December 2026 with the closure of Abilene Printing.
- A request for proposal was issued on January 16, 2026
- One proposal was received and was evaluated on:
 - Ability to print and deliver services – 50 points max
 - Performance on similar contracts – 25 points max
 - RFP completeness – 10 points max
 - Price– 15 points max





Contract HVC & Ram, LLC dba AlphaGraphics for Printing Services

- After evaluation, staff recommends a contract with HVC & Ram, LLC dba AlphaGraphics to provide printing services for one (1) year with four (4) optional one-year renewals.
- Pricing is unit-based and will be utilized on an as-needed basis by departments.
- Estimated annual city-wide cost is approximately \$50,000.
- Funds are available in the City's operating budgets.





Contract HVC & Ram, LLC dba AlphaGraphics for Printing Services

Questions?





**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Tim Littlejohn, Director of Planning & Development Services

ITEM: **6. Ordinance (First Reading) CUP-2026-02: Receive a Report, Hold a Discussion and Take Action on a Request from the Owner to Apply a Conditional Use Permit to a Property to Allow a Recreation Vehicle Park in Agricultural Open (AO) and General Commercial (GC) Zoning. Located at 309 Arnold Boulevard. *(Tim Littlejohn)***

GENERAL INFORMATION

The subject property was annexed into the City limits in 1956. The applicant is currently proposing 88 RV units on improved pads with full utility hookups. The Plan of Operation states that the RV park will provide a high-quality, safe, and well-managed experience for guests.

FUNDING/FISCAL IMPACT

STAFF AND/OR BOARD RECOMMENDATION

The Planning and Zoning Commission recommends **approval** of the Conditional Use Permit, subject to the concept plan and the plan of operation.

ATTACHMENTS:

1. Ordinance
2. Staff Report
3. Concept Plan
4. Metes & Bounds
5. Plan of Operation
6. Presentation

BACKUP DOCUMENTATION UPDATED? No

UPDATED ON:

AN ORDINANCE OF THE CITY OF ABILENE, TEXAS, AMENDING THE, "LAND DEVELOPMENT CODE" OF THE ABILENE CITY CODE, BY APPROVING A CONDITIONAL USE PERMIT (CUP) AFFECTING A CERTAIN PROPERTY; CALLING A PUBLIC HEARING; PROVIDING A PENALTY AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS:

PART 1: That Chapter 23 of the Land Development Code of the City of Abilene, is hereby amended by approving a Conditional Use Permit (CUP) as set out in Exhibit A, attached hereto and made a part of this ordinance for all purposes.

PART 2: That any person, firm or corporation violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor, and upon conviction thereof, shall be punished by a fine of not more than Two Thousand Dollars (\$2,000.00). Each day such violation shall continue or be permitted to continue, shall be deemed a separate offense.

PART 3: That the Planning Director be, and is hereby authorized and directed to change the official Zoning Map of the City of Abilene to correctly reflect the amendments thereto.

PASSED ON FIRST READING the 26th day of February, 2026.

A notice of the time and place, where and when said ordinance would be given a public hearing and considered for final passage, was published in the *Abilene Reporter-News*, a daily newspaper of general circulation in the City of Abilene, said publication being on the 16th day of January, 2026, the same being more than fifteen (15) days prior to a public hearing held in the Council Chamber of the City Hall in Abilene, Texas, at 8:30 a.m. on the 12th day of March, 2026, to permit the public to be heard prior to final consideration of this ordinance. Said ordinance, being a penal ordinance, becomes effective ten (10) days after its publication in the newspaper, as provided by Section 19 of the Charter of the City of Abilene.

PASSED ON FINAL READING THIS 12th day of March, 2026.

ATTEST:

CITY SECRETARY

MAYOR

APPROVED:

CITY ATTORNEY

ORDINANCE NO. _____

EXHIBIT A

Apply a Conditional Use Permit to allow Recreational Vehicles in Agricultural Open (AO) Zoning.

Legal description as follows:

BEING 83.84 ACRES OF LAND OUT OF B.S. & F. SURVEY NO. 1, ABSTRACT NO. 31 AND B.S. & F. SURVEY NO. 2 ABSTRACT NO. 528 AND 585, TAYLOR COUNTY, TEXAS, SAID 83.84 ACRES BEING PART OF TRACT 8 AND ALL OF TRACTS 24, 33, AND 73, 2021-02913, OFFICIAL PUBLIC RECORDS, TAYLOR COUNTY, TEXAS (O.P.R.T.C.T.), SAID 83.84 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 3/8" REBAR W/ GEOTEX CAP SET ON THE NORTH LINE OF SOUTH 7TH STREET (80' R.O.W. 771/436 D.R.) AT THE WESTERLY SOUTHEAST OF SAID TRACT 8, SAID TRACT 8 BEING A CALLED 35.889 ACRE TRACT OF RECORD IN VOLUME 2478, PAGE 31, O.P.R.C.T.C.T., AND BEING AT THE INTERSECTION OF THE WEST LINE OF DEL MAR ADDITION (2/49-D P.R.) AND THE NORTH LINE OF SAID SOUTH 7TH STREET, FOR THE WESTERLY SOUTHEAST CORNER OF THIS TRACT, WHENCE THE SOUTHEAST CORNER OF SAID SURVEY NO. 2 IS RECORDED TO BEAR (2478/31) SOUTH 201.7 FEET;

THENCE N88°28'01"W 1034.63 FEET, WITH THE NORTH LINE OF SAID SOUTH 7TH STREET AND THE MOST SOUTHERLY LINE OF SAID 35.889 ACRE TRACT, TO A RECOVERED 1/2" REBAR AT THE SOUTHEAST CORNER OF TRINITY CHAPEL ADDITION, OF RECORD IN CABINET 3, SLIDE 180, PLAT RECORDS, TAYLOR COUNTY, TEXAS (P.R.T.C.T.), FOR THE MOST EASTERLY SOUTHWEST CORNER OF THIS TRACT;

THENCE N01°10'57"E 300.20 FEET, TO A 3/8" REBAR W/ GEOTEX CAP SET AT THE NORHTEAST CORNER OF SAID TRINITY CHAPEL ADDITION, FOR AN INTERIOR CORNER OF THIS TRACT;

THENCE N88°32'23"W 419.76 FEET, TO A RECOVERED 1/2" REBAR ON THE WEST LINE OF SAID 35.889 ACRE TRACT AT THE NORTHWEST CORNER OF SAID TRINITY CHAPEL ADDITION AND BEING ON THE EAST LINE OF CONTINUATION NO. 1, LEMOND ADDITION, OF RECORD IN CABINET 2, SLIDE 280-B, P.R.T.C.T., FOR A SOUTHWEST CORNER OF THIS TRACT;

THENCE N01°12'47"E 466.89 FEET, WITH THE WEST LINE OF SAID 35.889 ACRE TRACT AND THE EAST LINE OF SAID CONTINUATION NO. 1, LEMOND ADDITION, TO A RECOVERED 1/2" REBAR AT THE SOUTHEAST CORNER OF SAID TRACT 24, A CALLED 7.6 ACRE TRACT OF RECORD IN VOLUME 2774, PAGE 448, O.P.R.T.C.T., FOR AN INTERIOR CORNER OF THIS TRACT;

THENCE N88°43'47" W, WITH THE SOUTH LINE OF SAID 7.6 ACRE TRACT, AT A DISTANCE OF 199.89 FEET, PASS A RECOVERED 1/2" REBAR AT THE NORTH CORNER OF LEMOND SUBDIVISION, OF RECORD IN CABINET 2, SLIDE 174-C, P.R.T.C.T. AND CONTINUE ON SAME COURSE WITH THE SOUTH LINE OF 7.6 ACRE TRACT, THE NORTH LINE OF SAID LEMOND SUBDIVISION AND THE NORHT LINE OF BARKER SUBDIVISION, OF RECORD IN CABINET 2, SLIDE 273-B P.R.T.C.T., FOR A TOTAL DISTANCE IN ALL OF 1023.21 FEET, TO A 3/8" REBAR W/ GEOTEX CAP SET ON THE EAST LINE OF WESTERN HILLS ADDITION, BLOCK 1, OF RECORD IN CABINET 4, SLIDE 544, P.R.T.C.T. AT THE SOUTHWEST CORNER OF SAID 7.6 ACRE TRACT, FOR A SOUTHWEST CORNER OF THIS TRACT;

THENCE N00°46'06"E 922.94 FEET, WITH THE WEST LINE OF SAID 7.6 ACRE TRACT, THE WEST LINE OF SAID TRACT 73, A CALLED 25.72 ACRE TRACT DESIGNATED TRACT 2 DESCRIBED IN

ORDINANCE NO. _____

VOLUME 2502, PAGE 154, O.P.R.T.C.T AND THE EAST LINE OF SAID BLOCK 1, TO A CROSS TIE CORNER POST AT AN INTERIOR CORNER OF SAID 25.72 ACRE TRACT, SAME BEING THE NORTHEAST CORNER OF LOT 1, BLOCK 1, SAID WESTERN HILLS ADDITION, FOR AN INTERIOR CORNER OF THIS TRACT;

THENCE N88°18'28"W 190.99 FEET, WITH A SOUTH LINE OF SAID TRACT 73 AND THE NORTH LINE OF SAID LOT 1, TO A 3/8" REBAR W/ GEOTEX CAP SET ON THE EAST LINE OF SAID ARNOLD BOULEVARD AT THE NORTHERLY SOUTHWEST CORNER OF SAID 25.72 ACRE TRACT, SAME BEING THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 1, FOR THE MOST NORTHERLY SOUTHWEST CORNER OF THIS TRACT, WHENCE A RECOVERED 3/8" REBAR BEARS N83°E 1.6 FEET;

THENCE N01°27'10"E 421.34 FEET, WITH THE EAST LINE OF SAID ARNOLD BOULEVARD AND THE MOST WESTERLY LINE OF SAID 25.72 ACRE TRACT, TO A RECOVERED 3/8" REBAR AT THE NORTHWEST CORNER OF SAID 25.72 ACRE TRACT, SAME BEING THE SOUTHWEST CORNER OF THAT CERTAIN TRACT DESIGNATED TRACT THREE, PARCEL TWO, OF RECORD IN DOCUMENT NO. 2011-11554, O.P.R.T.C.T., FOR THE EXTREME NORTHWEST CORNER OF THIS TRACT;

THENCE S88°36'04"E 190.77 FEET, WITH THE MOST NORTHERLY LINE OF SAID 25.72 ACRE TRACT AND THE SOUTH LINE OF SAID TRACT THREE, PARCEL TWO, TO A RECOVERED 3/8" REBAR AT THE WESTERLY NORTHEAST CORNER OF SAID 25.72 ACRE TRACT, SAME BEING THE SOUTHEAST CORNER OF SAID TRACT THREE, PARCEL TWO AND BEING ON THE WEST LINE OF THAT CERTAIN TRACT DESIGNATED TRACT THREE, PARCEL ONE, OF RECORD IN SAID DOCUMENT NO. 2011.11554, O.P.R.T.C.T., FOR AN EXTERIOR CORNER OF THIS TRACT;

THENCE S01°28'59"W 130.09 FEET, WITH THE EAST LINE OF SAID 25.72 ACRE TRACT AND THE WEST LINE OF SAID TRACT THREE, PARCEL ONE, TO A RECOVERED 3/8" REBAR AT AN INTERIOR CORNER OF SAID 25.72 ACRE TRACT AND THE SOUTHWEST CORNER OF SAID TRACT THREE, PARCEL ONE, FOR AN INERIOR CORNER OF THIS TRACT;

THENCE S 88°25'59"E 989.22 FEET, WITH A NORTH LINE OF SAID 25.72 ACRE TRACT AND THE SOUTH LINE OF SAID TRACT THREE, PARCEL ONE, TO A RECOVERED 3/8" REBAR AT AN INTERIOR CORNER OF SAID 25.72 ACRE TRACT AND THE SOUTHEAST CORNER OF SAID TRACT THREE, PARCEL ONE, FOR AN INTERIOR CORNER OF THIS TRACT;

THENCE N01°32'02"E 149.95 FEET, WITH A WEST LINE OF SAID 25.72 ACRE TRACT AND THE EAST LINE OF SAID TRACT THREE, PARCEL ONE, TO A RECOVERED 3/8" REBAR AT AN EXTERIOR CORNER OF SAID 25.72 ACRE TRACT AND THE NORTHEAST CORNER OF SAID TRACT THREE, PARCEL ONE AND BEING ON THE SOUTH LINE OF THAT CERTAIN TRACT DESIGNATED TRACT THREE, PARCEL THREE IN SAID DOCUMENT NO. 2011-11554, O.P.R.T.C.T., FOR AN EXTERIOR CORNER OF THIS TRACT;

THENCE S88°38'39"E, WITH A NORTH LINE OF SAID 25.72 ACRE TRACT AND THE SOUTH LINE OF SAID TRACT THREE, PARCEL THREE, AT A DISTANCE OF 120.37 FEET (RECORD CALL), PASS THE NORTHEAST CORNER OF SAID 25.72 ACRE TRACT AND THE NORTHWEST CORNER OF SAID TRACT 33, BEING A CALLED 17.54 ACRE TRACT OF RECORD IN VOLUME 2502, PAGE 154, O.P.R.T.C.T. AND CONTINUE ON SAME COURSE WITH THE NORTH LINE OF SAID 17.54 ACRE TRACT AND PART OF THE WAY WITH THE SOUTH LINE OF ROY HERRING SUBDIVISION, OF RECORD IN CABINET 2, SLIDE 24-A&B, P.R.T.C.T., FOR A TOTAL DISTANCE IN ALL OF 872.56 FEET, TO A RECOVERED 1/2" REBAR ON THE WEST LINE OF CONTINUATION NO. 1, HERRING SUBDIVISION, OF RECORD IN CABINET 2, SLIDE 287-B, P.R.T.C.T., BEING THE NORTHEAST CORNER OF SAID 17.5 ACRE TRACT, FOR THE EXTREME NORTHEAST CORNER OF THIS TRACT;

ORDINANCE NO. _____

THENCE S00°40'44"W, WITH THE EAST LINE OF SAID 17.54 ACRE TRACT AND THE WEST LINE OF SAID CONTINUATION NO. 1, HERRING SUBDIVISION, AT A DISTANCE OF 391.91 FEET, PASS THE SOUTHWEST CORNER OF SAID CONTINUATION NO. 1, HERRING SUBDIVISION AND THE SOUTHERLY NORTHWEST CORNER OF A CALLED 10.841 ACRE TRACT OF RECORD IN DOCUMENT NO. 2015-8635, O.P.R.T.C.T AND CONTINUE ON SAME COURSE WITH THE EAST LINE OF SAID 17.54 ACRE TRACT AND THE WEST LINE OF SAID 10.841 ACRE TRACT, FOR A TOTAL DISTANCE IN ALL OF 1038.15 FEET, TO A RECOVERED ½" REBAR ON THE NORTH LINE OF A CALLED 19.18 ACRE TRACT OF RECORD IN VOLUME 1868, PAGE 896, O.P.R.T.C.T., SAME BEING THE SOUTHEAST CORNER OF SAID 17.54 ACRE TRACT AND THE SOUTHWEST CORNER OF SAID 10.841 ACRE TRACT, FOR THE NORTHERLY SOUTHEAST CORNER OF THIS TRACT, WHENCE A RECOVERED 1" IRON ROD AT THE SOUTHEAST CORNER OF SAID 10.841 ACRE TRACT BEARS S88°38'12"E 581.49 FEET;

THENCE N88°44'24"W 554.78 FEET, WITH THE NORTH LINE OF SAID 19.18 ACRE TRACT AND THE SOUTH LINE OF SAID 17.54 ACRE TRACT AND CROSSING LITTLE ELM CREEK (NOW LOCATED), TO A RECOVERED ½" REBAR ON THE WEST TOP BANK OF SAID LITTLE ELM CREEK AT THE WESTERLY NORTHEAST CORNER OF SAID 35.889 ACRE TRACT AND THE NORTHWEST CORNER OF SAID 19.18 ACRE TRACT, FOR AN INTERIOR CORNER OF THIS TRACT;

THENCE IN A SOUTHEASTERLY DIRECTION GENERALLY ALONG THE SOUTHWEST, SOUTH AND WEST TOP BANK AND WITH THE COMMON LINE OF SAID 19.18 ACRE TRACT AND SAID 35.889 ACRE TRACT, THE FOLLOWING EIGHT (8) CALLS:

1. S52°32'08"E 192.50 FEET, TO A 3/8" REBAR W/ GEOTEX CAP SET FOR AN ANGLE CORNER OF THIS TRACT;
2. S55°05'40"E 331.46 FEET, TO A RECOVERED 3/8" REBAR, FOR AN ANGLE CORNER OF THIS TRACT;
3. S88°58'27"E 746.00 FEET, TO A 3/8" REBAR W/ GEOTEX CAP SET FOR AN ANGLE CORNER OF THIS TRACT;
4. S86°59'27"E 262.50 FEET, TO A 3/8" REBAR W/ GEOTEX CAP SET FOR AN ANGLE CORNER OF THIS TRACT;
5. S62°00'27"E 199.00 FEET, TO A 3/8" REBAR W/ GEOTEX CAP SET FOR AN ANGLE CORNER OF THIS TRACT;
6. S40°01'27"E 131.70 FEET, TO A 3/8" REBAR W/ GEOTEX CAP SET FOR AN ANGLE CORNER OF THIS TRACT;
7. S12°04'27"E 122.50 FEET, TO A 3/8" REBAR W/ GEOTEX CAP SET FOR AN ANGLE CORNER OF THIS TRACT;
8. S00°01'27"E 209.65 FEET, TO A 3/8" REBAR W/ GEOTEX CAP SET ON THE NORHT LINE OF SAID DEL MAR ADDITION AT THE EASTERLY SOUTHEAST CORNER OF SAID 35.889 ACRE TRACT AND THE SOUTHWEST CORNER OF SAID 19.18 ACRE TRACT, FOR EASTERLY SOUTHEAST CORNER OF THIS TRACT;

THENCE N88°27'56"W 568.49 FEET, WITH THE NORTH LINE OF SAID DEL MAR ADDITION AND THE NORTHERLY SOUTH LINE OF SAID 35.889 ACRE TRACT, TO A 3/8" REBAR W/ GEOTEX CAP SET AT THE NORTHWEST CORNER OF SAID DEL MAR ADDITION AT AN INTERIOR CORNER OF SAID 35.889 ACRE TRACT, FOR AN INTERIOR CORNER OF THIS TRACT, WHENCE A RECOVERED 3/8" REBAR BEARS S75°W 2.3 FEET;

THENCE S01°32'04"W 279.92 FEET, WITH THE EASTERLY WEST LINE OF SAID 35.889 ACRE TRACT AND THE WEST LINE OF SAID DEL MAR ADDITION, TO THE PLACE OF BEGINNING AND CONTAINING 83.84 ACRES OF LAND.

ORDINANCE NO. _____

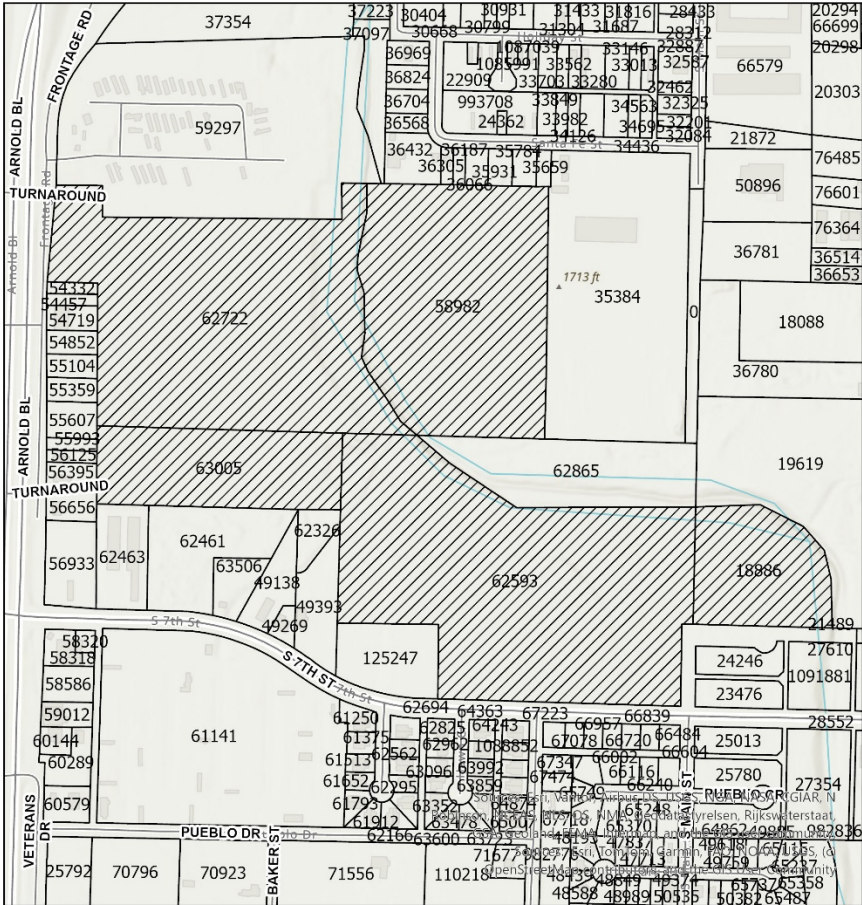


EXHIBIT C

Plan of Operation: Creekside Trails RV Resort & Campgrounds

I. Introduction

This document outlines the Plan of Operation for Creekside Trails RV Resort and Campgrounds, located at 309 Arnold Blvd, Abilene, TX. This plan addresses the requirements for a Conditional Use Permit (CUP) and details the operational procedures to ensure a safe, enjoyable, and well-managed environment for all guests and the surrounding community.

II. Property Description

The Creekside Trails Community is situated at 309 Arnold Blvd. Abilene, TX on approximately 33.32 acres. The property is designed to accommodate various sizes of recreational vehicles and offers a range of amenities for guests.

III. Operational Details

A. Hours of Operation

- a. Office Hours: Monday – Friday 9:00AM – 5:00PM, Saturday 9:00AM to 12:00PM
- b. Check-in: 2:00 PM
- c. Check-out: 11:00AM
- d. Quiet Hours: 10:00PM – 7:00AM daily. During quiet hours, excessive noise, loud music, and disruptive activities are prohibited.

B. Access and Security

- a. Gated Access: The RV retreat will have controlled access to ensure guest safety and security.
- b. On-site Management: A manager will be on-site during operational hours and available for emergencies after hours.
- c. Surveillance: Security cameras will be strategically placed throughout the property to monitor common areas and entrances.
- d. Fencing: The property will be fenced with a combination of field fence and privacy landscaping, to include privacy fencing when required
- e. Roads: The property will feature paved roadways.

C. Site Management

- a. RV Site Assignments: Guests will be assigned specific RV sites upon check-in. Limit 8 people per site unless approved by management.
- b. Site Maintenance: All RV sites will be regularly inspected and maintained to ensure cleanliness and functionality
- c. Utility Connections: Each RV site will be equipped with standard utility connections (electric, water, sewer) as per industry standards.
- d. Pets: Maximum of two pets per site unless approved by management.

D. Guest Services

- a. Registration: All guests are required to register at the office upon arrival and provide necessary identification and vehicle information.
- b. Rules and Regulations: A comprehensive list of rules and regulations will be provided to guests upon check-in and prominently displayed.
- c. Emergency Contact: Harassment or mistreatment of our staff, guests or neighbors will not be tolerated under any circumstances.

IV. Amenities

Creekside Trails will offer a variety of amenities for guests, including but not limited to:

- Office, Restroom and Shower Facilities
- Laundry Facilities
- Pet-Friendly Areas
- Recreational Areas (e.g., picnic tables, open green spaces)
- Food Gardens
- Wi-Fi Access

- Pool (future)
- Tennis courts 2 (future)
- Cabins (future)
- Clubhouse (future)
- Walking Trail
- Pond
- Soccer Field
- Football Field
- Large lots (6000sqft+)

V. Maintenance and Upkeep

A. Grounds Maintenance

- a. Landscaping: Regular landscaping and grounds maintenance will be performed to ensure an aesthetically pleasing and safe environment. This includes mowing, trimming, and removal of debris. Landscaping will be added on frontage road in accordance with the city of Abilene and landscape will be added around the pond, and other amenities as needed.
- b. Pest Control: A regular pest control program will be implemented to manage common pests.

B. Facilities Maintenance

- a. Daily Cleaning: Restrooms, showers, and common areas will be cleaned daily.
- b. Repairs: Timely repairs will be made to all facilities and infrastructure to ensure proper functioning and safety.

C. Waste Management

- a. Trash Receptacles: Sufficient and clearly marked trash receptacles will be available throughout the property.
- b. Regular Collection: Trash will be collected regularly to prevent overflow and maintain cleanliness.
- c. Recycling: Opportunities for recycling will be provided where feasible.
- d. Composting: Plans for collection and management of compostable food waste products will be made.

VI. Safety and Emergency Procedures

A. Fire Safety

- a. Fire Extinguishers: Fire extinguishers will be readily accessible in common areas and key facilities.
- b. Emergency Exits: Clearly marked emergency exits will be established and maintained
- c. Fire Pit Regulations: Strict rules regarding the use of fire pits will be enforced, including designated areas and supervision.

B. Medical Emergencies

- a. First Aid: Basic first aid supplies will be available at the office.
- b. Emergency Services: In case of a serious medical emergency, guests will be instructed to call 911 immediately.

C. Severe Weather

- a. Warning System: A system for alerting guests to severe weather conditions will be in place.
- b. Shelter Information: Information on designated storm shelters or safe areas will be provided to guests.

VII. Environmental Considerations

A. Noise Control

- a. Quiet Hours Enforcement: Strict enforcement of quiet hours will be maintained to minimize noise disruption to guests and neighbors.

- b. Sound Barriers: Where necessary, natural or artificial sound barriers will be considered to mitigate noise.

B. Lighting

- a. Appropriate Illumination: Adequate lighting will be provided for safety and security, while minimizing light pollution to the surrounding area.
- b. Dark Sky Compliance: Efforts will be made to comply with dark sky initiatives where applicable.

C. Stormwater Management

- a. Drainage Systems: Proper drainage systems will be maintained to manage stormwater runoff effectively and prevent erosion or flooding.

VIII. Parking

- A. Designated Parking: Guests will be instructed to park their vehicles only in designated RV sites or overflow parking areas.
- B. Vehicle Speed Limits: A low speed limit will be enforced within the RV retreat to ensure pedestrian safety.

IX. Community Relations

Creekside Trails is committed to being a good neighbor and will:

- A. Address Concerns: Promptly address any concerns or complaints from local residents or authorities.
- B. Maintain Property: Keep the property clean, well-maintained, and visually appealing.
- C. Communicate: Maintain open communication with local authorities and the community.

X. Compliance

Creekside Trails will operate in full compliance with all applicable federal, state, and local laws, ordinances, and regulations, including those pertaining to zoning, health, safety, and environmental protection.

XI. Basic Park Layout

The campgrounds maximizes green spaces and will include 7 RV pads per acre. Reference concept plan for more details.

XII. Conclusion

This Plan of Operation demonstrates Creekside Trails' commitment to providing a high-quality, safe, and well-managed experience for its guests while being a responsible member of the Abilene community. We believe this plan addresses all necessary considerations for the Conditional Use Permit and look forward to contributing positively to the area.

END

ZONING CASE CUP-2026-02 STAFF REPORT



Scheduled Hearings

Planning & Zoning Commission: February 3, 2026
 City Council 1st Read: February 26, 2026
 City Council 2nd Read: March 12, 2026

Applicant

Owner: Tyler Wilson

Case Manager

Kera Valois – Planner

Request

A Conditional Use Permit to allow a Recreational Vehicle Park in Agricultural Open (AO) and General Commercial (GC) Zoning.

Location

The subject property is located at 309 Arnold Boulevard. Legal description being approximately 83.84 acres out of the B.S. & F. Survey No. 1, Abstract No. 31 and B.S. & F. Survey No. 2, Abstract No. 528 and 585, Abilene, Taylor County, Texas.

Background

The subject property was annexed into the City limits in 1956. The applicant is currently proposing 88 RV units on improved pads with full utility hookups. The Plan of Operation states that the RV park will provide a high-quality, safe, and well managed experience for guests.

Zoning, Existing and Proposed Land Use

	Zoning	Existing Land Use
North	MH	Mobile Home Park
East	LI	AISD Transportation
South	MD/MF	Residence/Vacant Lot
West	MD	Mobile Home Park

Criteria Assessment

Staff has reviewed the request based upon the factors established in Section 1.4.3.5, Criteria for Approval of the Land Development Code. These factors are identified and addressed below:

- 1. The proposed use at the specified location is consistent with the policies embodied in the adopted Comprehensive Plan.**
 The proposed request is consistent with the Comprehensive Plan.
- 2. The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations.**
 The proposed use is consistent with the requirements of Agricultural Open (AO) and General Commercial (GC) zoning.
- 3. The proposed use is compatible with and preserves the character and integrity of adjacent developments and neighborhoods and includes improvements either on-site or within the public rights-of-way to mitigate development-related adverse**

impacts, such as traffic, noise, odors, visual nuisances, drainage or other similar adverse effects to adjacent development and neighborhoods.

The proposed use is compatible with surrounding uses. All required improvements will be addressed during the platting and site plan process.

4. The proposed use does not generate pedestrian and vehicular traffic which will be hazardous or conflict with the existing and anticipated traffic in the neighborhood.

The proposed use will generate additional pedestrian or vehicular traffic, but staff does not believe it will be hazardous or conflicting with the existing traffic.

5. The proposed use incorporates roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development-generated traffic on neighborhood streets.

Any roadway or traffic requirements will be addressed during the platting and site plan process.

6. The proposed use incorporates features to minimize adverse effects, including visual impacts, of the proposed conditional use on adjacent properties.

The proposed use includes features to minimize adverse effects on surrounding properties. They will also be subject to all requirements in the Land Development Code which may include landscaping, buffering, screening, and fencing.

7. The proposed use meets the standards for the zoning district, or to the extent variations from such standards have been requested, that such variations are necessary to render the use compatible with adjoining development and the neighborhood.

The proposed use is compatible with the surrounding uses at this location.

P&Z Recommendation

Staff recommends **approval** of the Conditional Use Permit, subject to the concept plan and the plan of operation.

Attachments

- Concept Plan
- Plan of Operation
- PowerPoint Presentation
- Metes & Bounds

Notification

Pursuant to Section 1.2.2.2 of the Land Development Code, City staff mailed personal notices on January 16, 2026, via standard mail to the owners of property within a 200-foot radius of the subject street right of way. The property owners and associated parcel identification numbers are identified below:

PROPERTY OWNER

Legend: O - Opposed, F - In Favor

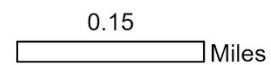
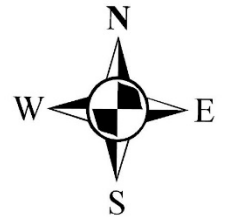
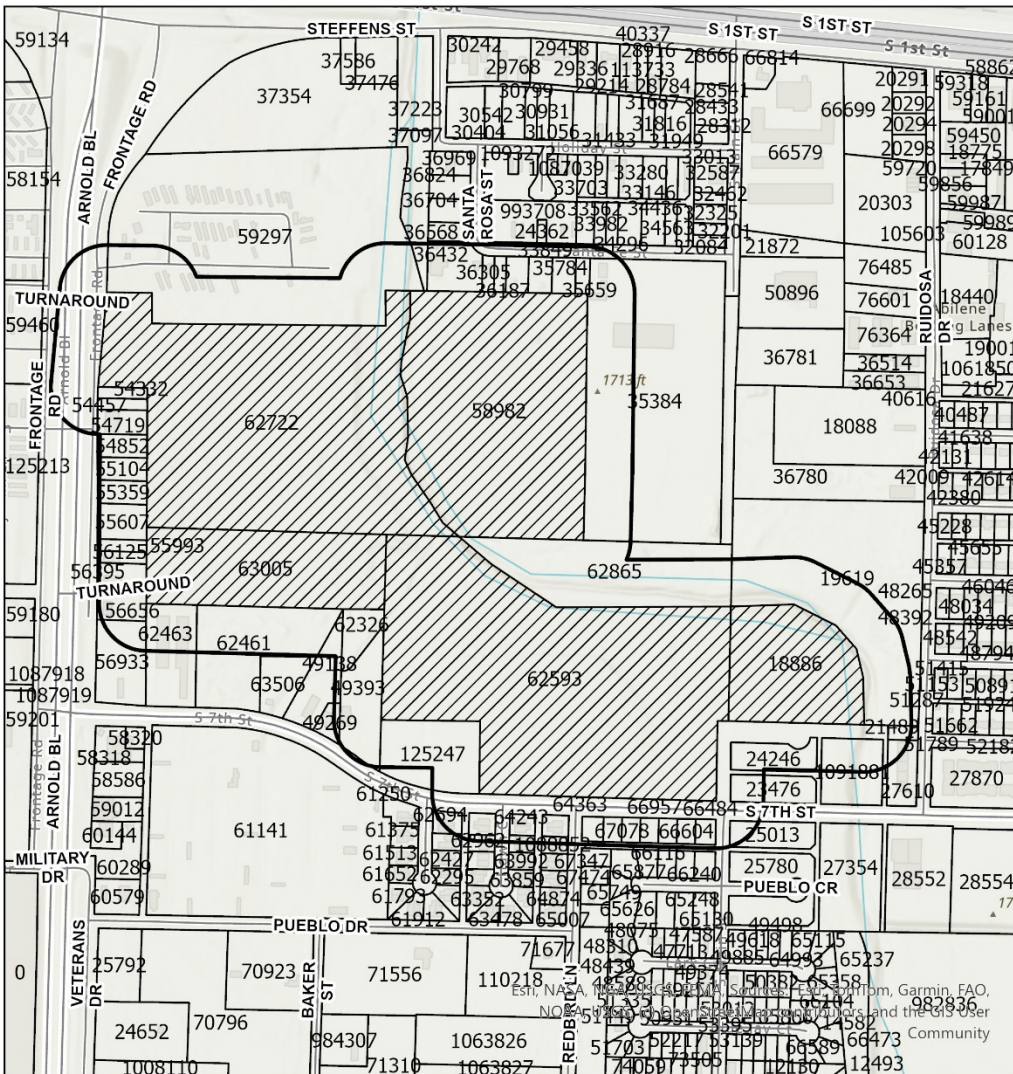
PROPERTY OWNER	PROPERTY ID	SITUS	RESPONSE
2018 SOUTHERN CROSS PTY LLC	64363	702 REDBIRD LN	
2018 SOUTHERN CROSS PTY LLC	64363	704 REDBIRD LN	
ABILENE HOSANNA KOREAN CHURCH	49393	6024 S 7 TH ST	
ABILENE INDEPENDENT SCHOOL DISTRICT	35784	6009 SANTA FE ST	
ABILENE INDEPENDENT SCHOOL DISTRICT	36066	6049 SANTA FE ST	
ABILENE INDEPENDENT SCHOOL DISTRICT	35384	5809 SANTA FE ST	

ABILENE INDEPENDENT SCHOOL DISTRICT	35384	258 S MAIN ST	
ABILENE INDEPENDENT SCHOOL DISTRICT	35384	5909 SANTA FE ST	
ABILENE INDEPENDENT SCHOOL DISTRICT	35931	6033 SANTA FE ST	
ADRIAN DAVID M & KATHERINE	64243	701 HAWN CR	
ADRIAN DAVID M & KATHERINE	64243	703 HAWN CR	
ARETE INTERESTS LLC	56395	541 ARNOLD BL	
ASSOC DISTRIBUTORS INC	35659	5817 SANTA FE ST	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 0	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 1	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 2	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 3	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 4	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 5	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 6	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 7	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 8	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 9	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 10	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 11	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 12	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 13	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 14	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 21	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 22	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 23	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 24	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 25	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 26	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 27	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 28	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 29	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 30	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 15	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 16	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 17	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 18	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 31	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 19	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 20	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 32	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 77	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 33	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 34	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 35	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 36	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 37	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 38	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 39	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 40	

BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 41	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 42	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 43	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 44	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 45	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 46	
BIG TREE MOBILE PARK LLC	59297	225 ARNOLD BL LOT 47	
BILL SMITH PROPERTIES INC	55993	517 ARNOLD BL	
CAR SHOP REV. LIVING TRUST	54332	409 ARNOLD BL	
CAR SHOP REV. LIVING TRUST	54457	425 ARNOLD BL	
CAR SHOP REV. LIVING TRUST	54719	441 ARNOLD BL	
CAR SHOP REV. LIVING TRUST	54852	449 ARNOLD BL	
CHURCH OF GOD OF PROPHECY	49138	6110 S 7 TH ST	
CHURCH OF GOD OF PROPHECY	49269	6102 S 7 TH ST	
CHURCH OF GOD OF PROPHECY	62326		
CITY OF ABILENE	1091881		
CITY OF ABILENE	37097	150 SANTA ROSA ST	
CITY OF ABILENE	19619	301 RUIDOSA DR	
CITY OF ABILENE	62865		
COKER LORRIE & TRAVIS	56933	6202 S 7 TH ST	
COUZINS JAMES JOSEPH	62962	712 HAWN CR	
COUZINS JAMES JOSEPH	62962	710 HAWN CR	
DAVALOS LEO	55104	457 ARNOLD BL	
DOLAN KENNETH	23476	5602 S 7 TH ST	
DOLAN KENNETH	24246	5641 LAGUNA DR	
ENGBERG WILLIAM DEREK	62825	702 HAWN CR	
ENGBERG WILLIAM DEREK	62825	704 HAWN CR	
G LAUGHLIN PARTNERS	62461	6126 S 7 TH ST	
G LAUGHLIN PARTNERS	62463	6150 S 7 TH ST	
GILX DEVELOPMENT INC	36305	6099 SANTA FE ST	
GILX DEVELOPMENT INC	36187	6057 SANTA FE ST	
GILX DEVELOPMENT INC	36432	6101 SANTA FE ST	
GILX DEVELOPMENT INC	36432	6109 SANTA FE ST	
GRASS MOUNTAIN HOLDINGS LLC	27610	662 RUIDOSA DR	
GRASS MOUNTAIN HOLDINGS LLC	27610	654 RUIDOSA DR	
GRASS MOUNTAIN HOLDINGS LLC	27610	650 RUIDOSA DR	
GRASS MOUNTAIN HOLDINGS LLC	27610	5502 S 7 TH ST	
GRASS MOUNTAIN HOLDINGS LLC	27610	658 RUIDOSA DR	
GRASS MOUNTAIN HOLDINGS LLC	21489		
HANTMAN JOSEPH M REV TRUST	55359	465 ARNOLD BL	
HANTMAN JOSEPH M REV TRUST	55607	513 ARNOLD BL	
HANTMAN JOSEPH M REV TRUST	63005		
HANTMAN JOSEPH M REV TRUST	62722	309 ARNOLD BL	
HANTMAN JOSEPH M REV TRUST	58982		
HANTMAN JOSEPH M REV TRUST	18886		
HANTMAN JOSEPH M REV TRUST	125247		
HANTMAN JOSEPH M REV TRUST	62593	5710 S 7 TH ST	
LEGACY DWELLING LLC	62694	701 CHAPARRAL CR	
LEGACY DWELLING LLC	62694	703 CHAPARRAL CR	
MAYBEE NED LEE	56656	609 ARNOLD BL	0

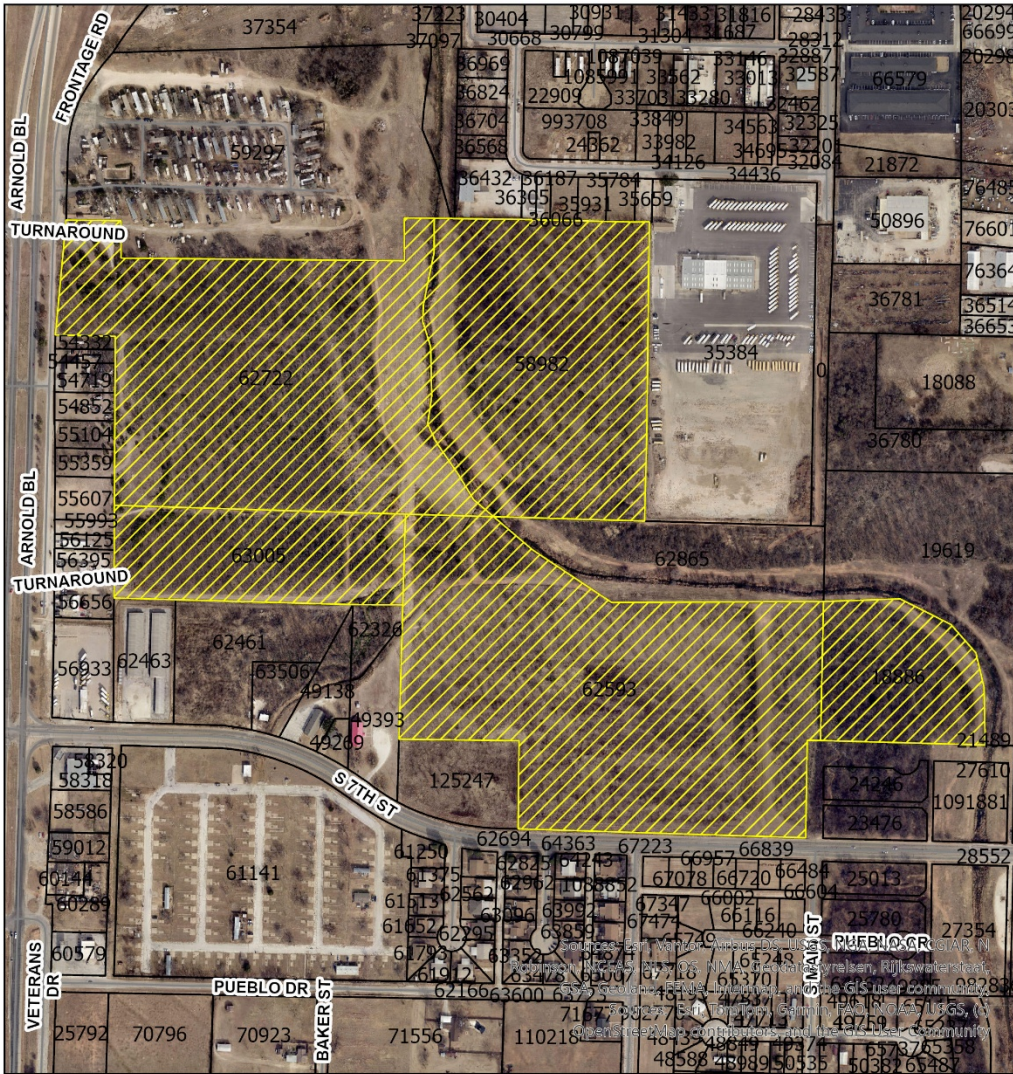
OAKRIDGE ESTATES MHC LLC	67223	701 REDBIRD LN	
OAKRIDGE ESTATES MHC LLC	66839	5725 S 7 TH ST	
OAKRIDGE ESTATES MHC LLC	66484	5701 S 7 TH ST	
OAKRIDGE ESTATES MHC LLC	67078	5809 S 7 TH ST	
OAKRIDGE ESTATES MHC LLC	66720	5717 S 7 TH ST	
OAKRIDGE ESTATES MHC LLC	66957	5801 S 7 TH ST	
OAKRIDGE ESTATES MHC LLC	25013	5601 S 7 TH ST	
PARSON MICHAEL A JR & ASHLEY R	66604	5709 S 7 TH ST	
SCOTT GARRY &	1088852	708 REDBIRD LN	
SCOTT GARRY &	1088852	706 REDBIRD LN	
SMITH BILL PROPERTIES INC	56125	525 ARNOLD BL	
TURQUOISE DOG PROPERTIES LLC SERIES M	62562	711 CHAPARRAL CR	
TURQUOISE DOG PROPERTIES LLC SERIES M	62562	709 CHAPARRAL CR	
WHITE DAVID A & MAUREEN	64120	711 HAWN CR	
WHITE DAVID A & MAUREEN	64120	709 HAWN CR	

NOTIFICATION MAP



- CUP-2026-02
- Notification Area

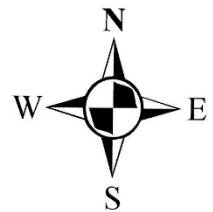
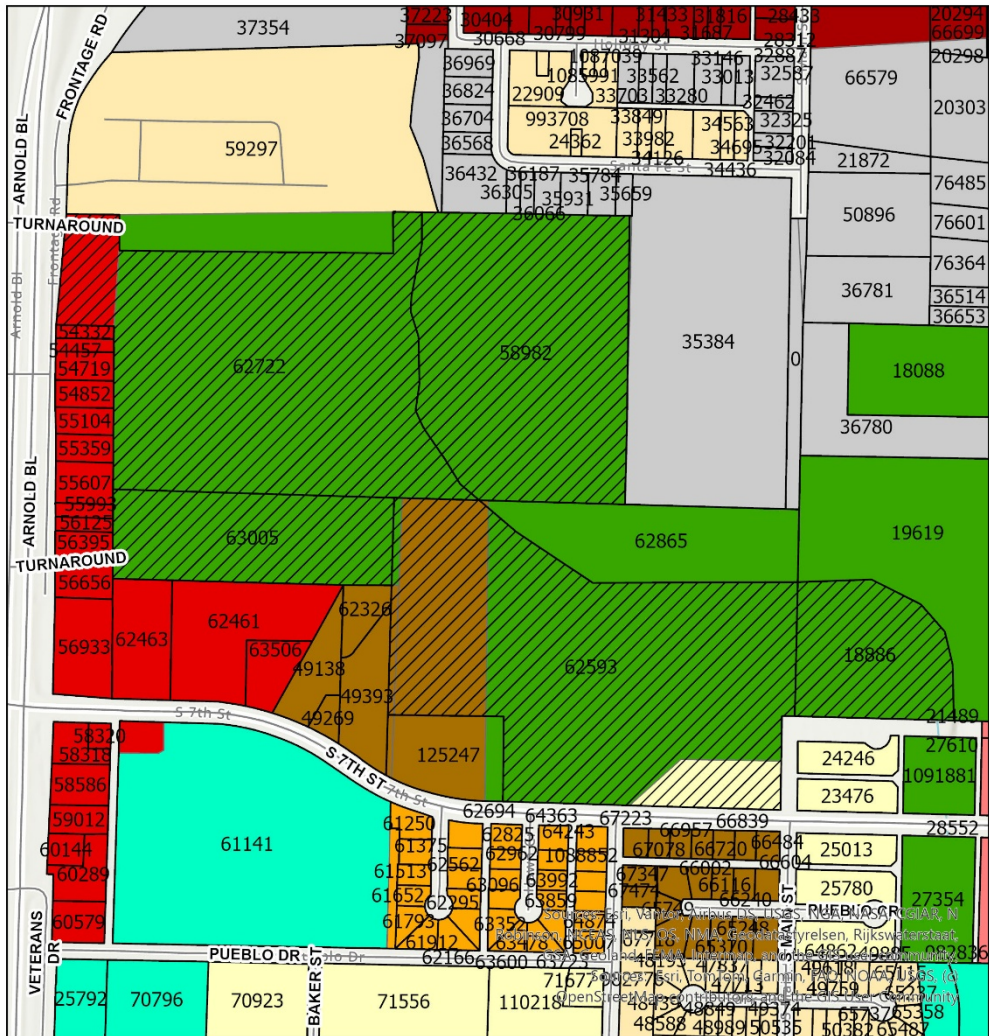
LOCATION MAP



0.1 Miles

CUP-2026-02

ZONING MAP



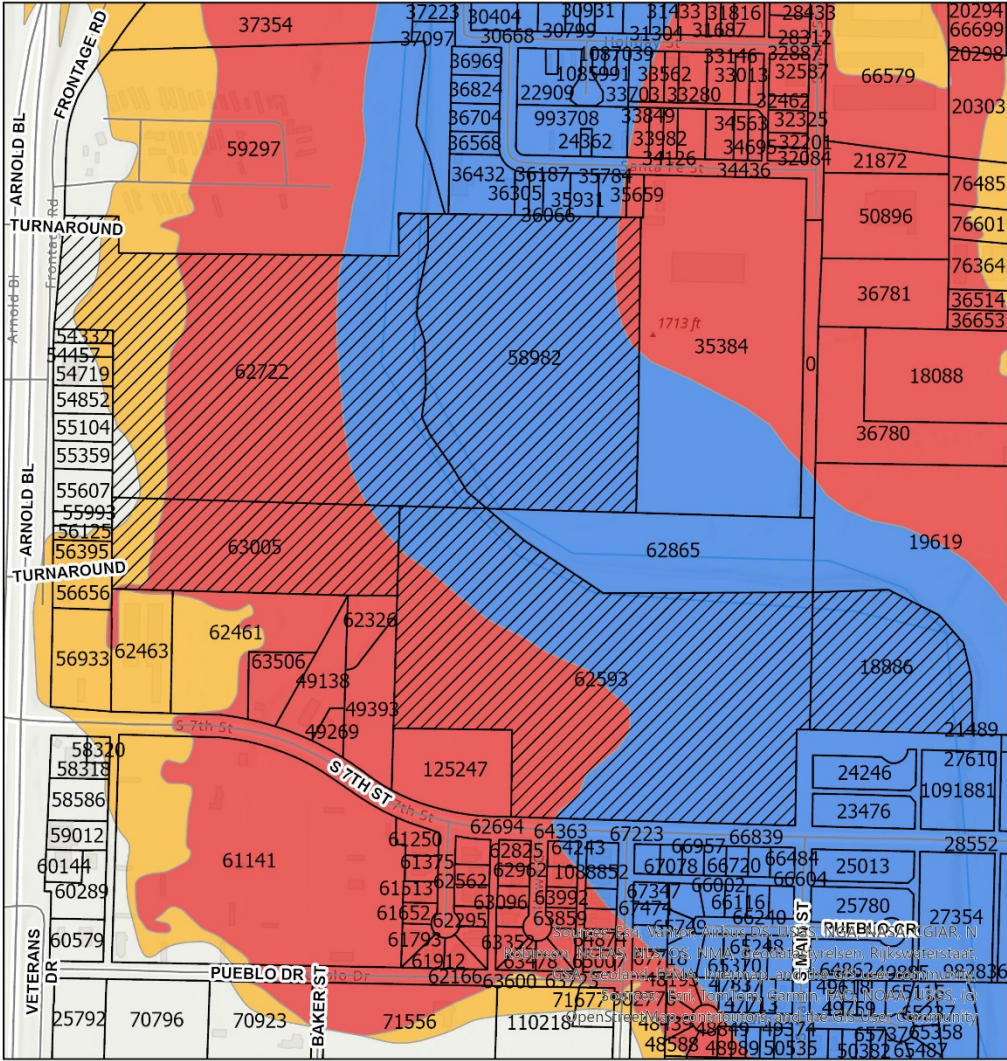
0.1 Miles

CUP-2026-02

Zoning Districts

- AO
- GC
- GR
- HC
- LI
- MD
- MF
- MH
- PD
- RS-6

FLOOD MAP



0.1
Miles

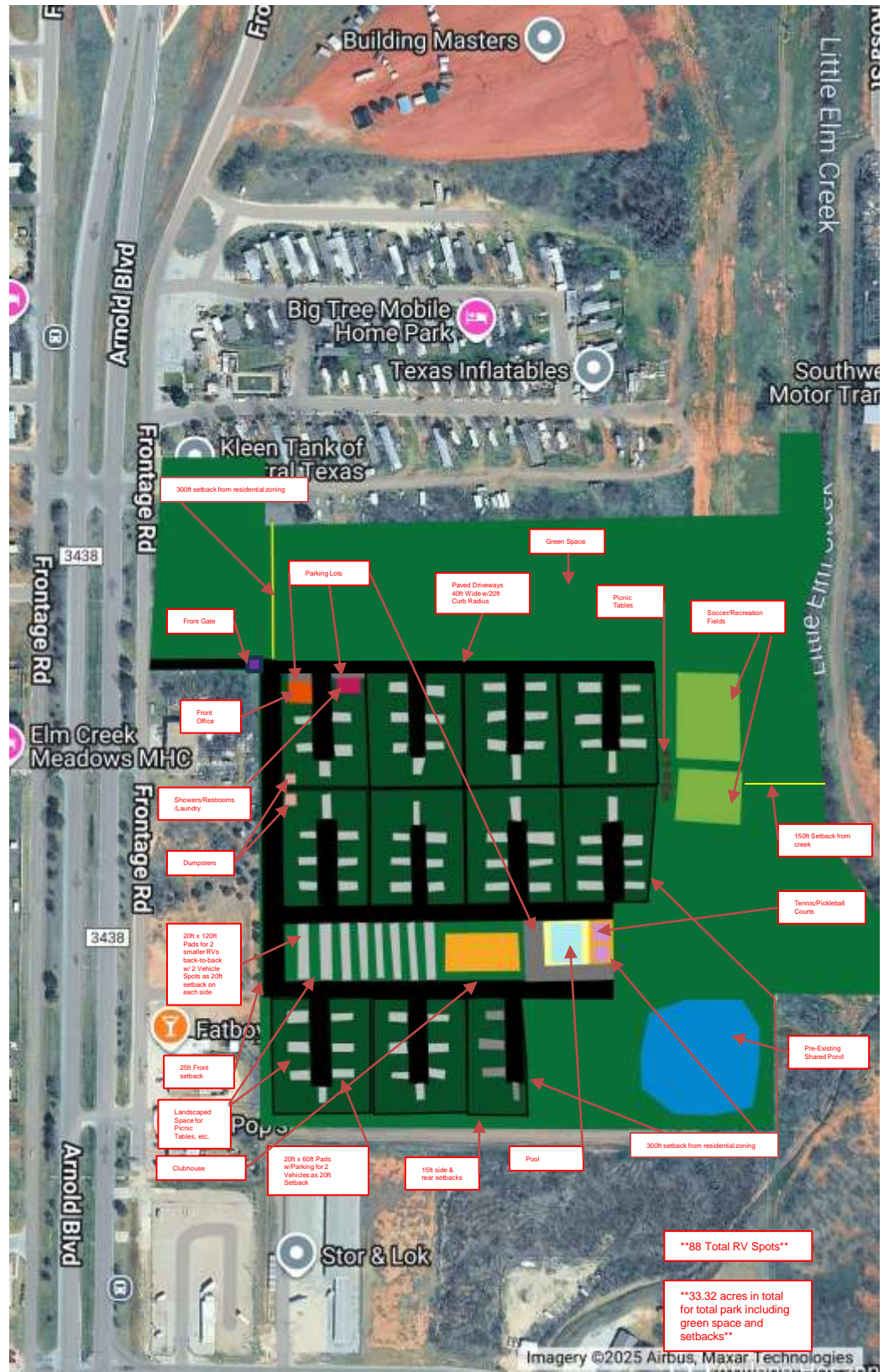
- CUP-2026-02**
- FEMA Flood Zones**
- Floodway
 - 100 Year 1%
 - 500 Year .2%
 - Unstudied A Zone

Creekside Trails - RV Resort & Campgrounds



Concept Plan

Creekside Trails - RV Resort & Campgrounds



Concept Plan

FIELD NOTES
83.84 ACRES

BEING 83.84 acres of land out of B.S. & F. Survey No. 1, Abstract No. 31 and B.S. & F. Survey No. 2, Abstract No. 528 and 585, Taylor County, Texas, said 83.84 acres being part of Tract 8 and all of Tracts 24, 33, and 73, conveyed to Judith Hantman, Trustee of the Joseph M. Hantman Revocable Trust, of record in Document No. 2021-02913, Official Public Records, Taylor County, Texas (O.P.R.T.C.T.), said 83.84 acres being more particularly described as follows:

BEGINNING at a 3/8" rebar w/ GEOTEX cap set on the north line of South 7th Street (80' R.O.W. 771/436 D.R.) at the westerly southeast corner of said Tract 8, said Tract 8 being a called 35.889 acre tract of record in Volume 2478, Page 31, O.P.R.C.T.C.T., and being at the intersection of the west line of Del Mar Addition (2/49-D P.R.) and the north line of said South 7th Street, for the westerly southeast corner of this tract, whence the southeast corner of said Survey No. 2 is recorded to bear (2478/31) South 201.7 feet;

THENCE N88°28'01"W 1034.63 feet, with the north line of said South 7th Street and the most southerly line of said 35.889 acre tract, to a recovered 1/2" rebar at the southeast corner of Trinity Chapel Addition, of record in Cabinet 3, Slide 180, Plat Records, Taylor County, Texas (P.R.T.C.T.), for the most easterly southwest corner of this tract;

THENCE N01°10'57"E 300.20 feet, to a 3/8" rebar w/ GEOTEX cap set at the northeast corner of said Trinity Chapel Addition, for an interior corner of this tract;

THENCE N88°32'23"W 419.76 feet, to a recovered 1/2" rebar on the west line of said 35.889 acre tract at the northwest corner of said Trinity Chapel Addition and being on the east line of Continuation No. 1, Lemond Addition, of record in Cabinet 2, Slide 280-B, P.R.T.C.T., for a southwest corner of this tract;

THENCE N01°12'34"E 466.89 feet, with the west line of said 35.889 acre tract and the east line of said Continuation No. 1, Lemond Addition, to a recovered 1/2" rebar at the southeast corner of said Tract 24, a called 7.6 acre tract of record in Volume 2774, Page 448, O.P.R.T.C.T., for an interior corner of this tract;

THENCE N88°43'47"W, with the south line of said 7.6 acre tract, at a distance of 199.89 feet, pass a recovered 1/2" rebar at the north corner of Lemond Subdivision, of record in Cabinet 2, Slide 174-C, P.R.T.C.T. and continue on same course with the south line of said 7.6 acre tract, the north line of said Lemond Subdivision and the north line of Barker Subdivision, of record in Cabinet 2, Slide 273-B, P.R.T.C.T., for a total distance in all of 1023.21 feet, to a 3/8" rebar w/ GEOTEX cap set on the east line of Western Hills Addition, Block 1, of record in Cabinet 4, Slide 544, P.R.T.C.T. at the southwest corner of said 7.6 acre tract, for a southwest corner of this tract;

THENCE N00°46'06"E 922.94 feet, with the west line of said 7.6 acre tract, the west line of said Tract 73, a called 25.72 acre tract designated Tract 2 described in Volume 2502, Page 154, O.P.R.T.C.T. and the east line of said Block 1, to a cross tie corner post at an interior corner of said 25.72 acre tract, same being the northeast corner of Lot 1, Block 1, said Western Hills Addition, for an interior corner of this tract;

THENCE N88°18'28"W 190.99 feet, with a south line of said Tract 73 and the north line of said Lot 1, to a 3/8" rebar w/ GEOTEX cap set on the east line of said Arnold Boulevard at the northerly southwest corner of said 25.72 acre tract, same being the northwest corner of said Lot 1, Block 1, for the most northerly southwest corner of this tract, whence a recovered 3/8" rebar bears N83°E 1.6 feet;

THENCE N01°27'10"E 421.34 feet, with the east line of said Arnold Boulevard and the most westerly line of said 25.72 acre tract, to a recovered 3/8" rebar at the northwest corner of said 25.72 acre tract, same being the southwest corner of that certain tract designated Tract Three, Parcel Two, of record in Document No. 2011-11554, O.P.R.T.C.T., for the extreme northwest corner of this tract;

THENCE S88°36'04"E 190.77 feet, with the most northerly line of said 25.72 acre tract and the south line of said Tract Three, Parcel Two, to a recovered 3/8" rebar at the westerly northeast corner of said 25.72 acre tract, same being the southeast corner of said Tract Three, Parcel Two and being on the west line of that certain tract designated Tract Three, Parcel One, of record in said Document No. 2011-11554, O.P.R.T.C.T., for an exterior corner of this tract;

THENCE S01°28'59"W 130.09 feet, with the east line of said 25.72 acre tract and the west line of said Tract Three, Parcel One, to a recovered 3/8" rebar at an interior corner of said 25.72 acre tract and the southwest corner of said Tract Three, Parcel One, for an interior corner of this tract;

THENCE S88°36'01"E 989.22 feet, with a north line of said 25.72 acre tract and the south line of said Tract Three, Parcel One, to a recovered 3/8" rebar at an interior corner of said 25.72 acre tract and the southeast corner of said Tract Three, Parcel One, for an interior corner of this tract;

83.84 acres continued

THENCE N01°32'02"E 149.95 feet, with a west line of said 25.72 acre tract and the east line of said Tract Three, Parcel One, to a recovered 3/8" rebar at an exterior corner of said 25.72 acre tract and the northeast corner of said Tract Three, Parcel One and being on the south line of that certain tract designated Tract Three, Parcel Three in said Document No. 2011-11554, O.P.R.T.C.T., for an exterior corner of this tract;

THENCE S88°38'39"E, with a north line of said 25.72 acre tract and the south line of said Tract Three, Parcel Three, at a distance of 120.37 feet (record call), pass the northeast corner of said 25.72 acre tract and the northwest corner of said Tract 33, being a called 17.54 acre tract of record in Volume 2502, Page 154, O.P.R.T.C.T. and continue on same course with the north line of said 17.54 acre tract and part of the way with the south line of Roy Herring Subdivision, of record in Cabinet 2, Slide 24-A&B, P.R.T.C.T., for a total distance in all of 872.56 feet, to a recovered 1/2" rebar on the west line of Continuation No. 1, Herring Subdivision, of record in Cabinet 2, Slide 287-B, P.R.T.C.T., being the northeast corner of said 17.5 acre tract, for the extreme northeast corner of this tract;

THENCE S00°40'44"W, with the east line of said 17.54 acre tract and the west line of said Continuation No. 1, Herring Subdivision, at a distance of 391.91 feet, pass the southwest corner of said Continuation No. 1, Herring Subdivision and the southerly northwest corner of a called 10.841 acre tract of record in Document No. 2015-8635, O.P.R.T.C.T. and continue on same course with the east line of said 17.54 acre tract and the west line of said 10.841 acre tract, for a total distance in all of 1038.15 feet, to a recovered 1/2" rebar on the north line of a called 19.18 acre tract of record in Volume 1868, Page 896, O.P.R.T.C.T., same being the southeast corner of said 17.54 acre tract and the southwest corner of said 10.841 acre tract, for the northerly southeast corner of this tract, whence a recovered 1" iron rod at the southeast corner of said 10.841 acre tract bears S88°38'12"E 581.49 feet;

THENCE N88°44'24"W 554.78 feet, with the north line of said 19.18 acre tract and the south line of said 17.54 acre tract and crossing Little Elm Creek (now located), to a recovered 1/2" rebar on the west top bank of said Little Elm Creek at the westerly northeast corner of said 35.889 acre tract and the northwest corner of said 19.18 acre tract, for an interior corner of this tract;

THENCE in a southeasterly direction generally along the southwest, south and west top bank and with the common line of said 19.18 acre tract and said 35.889 acre tract, the following eight (8) calls:

1. S52°32'08"E 192.50 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
2. S55°05'40"E 331.46 feet, to a recovered 3/8" rebar, for an angle corner of this tract;
3. S88°58'27"E 746.00 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
4. S86°59'27"E 262.50 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
5. S62°00'27"E 199.00 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
6. S40°01'27"E 131.70 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
7. S12°04'27"E 122.50 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
8. S00°01'27"E 209.65 feet, to a 3/8" rebar w/ GEOTEX cap set on the north line of said Del Mar Addition at the easterly southeast corner of said 35.889 acre tract and the southwest corner of said 19.18 acre tract, for easterly southeast corner of this tract;


THENCE N88°27'56"W 568.49 feet, with the north line of said Del Mar Addition and the northerly south line of said 35.889 acre tract, to a 3/8" rebar w/ GEOTEX cap set at the northwest corner of said Del Mar Addition at an interior corner of said 35.889 acre tract, for an interior corner of this tract, whence a recovered 3/8" rebar bears S75°W 2.3 feet;

THENCE S01°32'04"W 279.92 feet, with the easterly west line of said 35.889 acre tract and the west line of said Del Mar Addition, to the place of beginning and containing 83.84 acres of land.

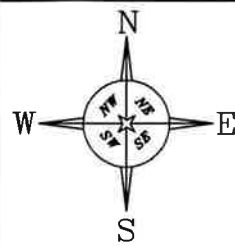
Surveyed on the ground August 26 and 30, 2024.
Revised May 19, 2025 (boundary and area)

SEE ACCOMPANYING PLAT

Geotex Property Solutions
4701 South 3rd Street
Abilene, Texas 79605
(325) 677-6712
File # 185-19-24-83.84ac
Firm Registration No. 10194134


Rex D. Haas
R. P. L. S. #4378





LINE TABLE			
LINE	BEARING & DISTANCE		RECORD
	MEASURED	RECORD	
L1	S88°36'04"E 190.77'	S88°13'12"E 191.20'	
L2	S01°28'59"W 130.09'	S01°57'48"W 130.15'	
L3	N01°32'02"E 149.95'	N01°58'48"E 149.91'	
L4	S52°32'08"E 192.50'	S52°42'12"E 192.50'	
L5	S55°05'40"E 331.46'	S56°33'E 331.5'	
L6	S86°59'27"E 262.50'	S88°22'E 262.5'	
L7	S62°00'27"E 199.00'	S83°23'E 199'	
L8	S40°01'27"E 131.70'	S41°24'E 131.7'	
L9	S12°04'27"E 122.50'	S13°27'E 122.5'	
L10	S00°01'27"E 209.65'	S1°24'E 207.3'	
L11	S01°32'04"W 279.92'	South 280.10'	
L12	N88°18'28"W 190.99'	N89°03'W 191.02'	

NOTE: Bearings shown hereon are based on the Texas Coordinate System, determined by GPS observations.

NOTE: There may be easements on or near this property which are not reflected by title commitment or this survey plat.

NOTE: This survey was prepared using a prior Title Commitment dated July 12, 2024 and was not issued for this transaction. Schedule B exceptions utilized for easement purposes only.

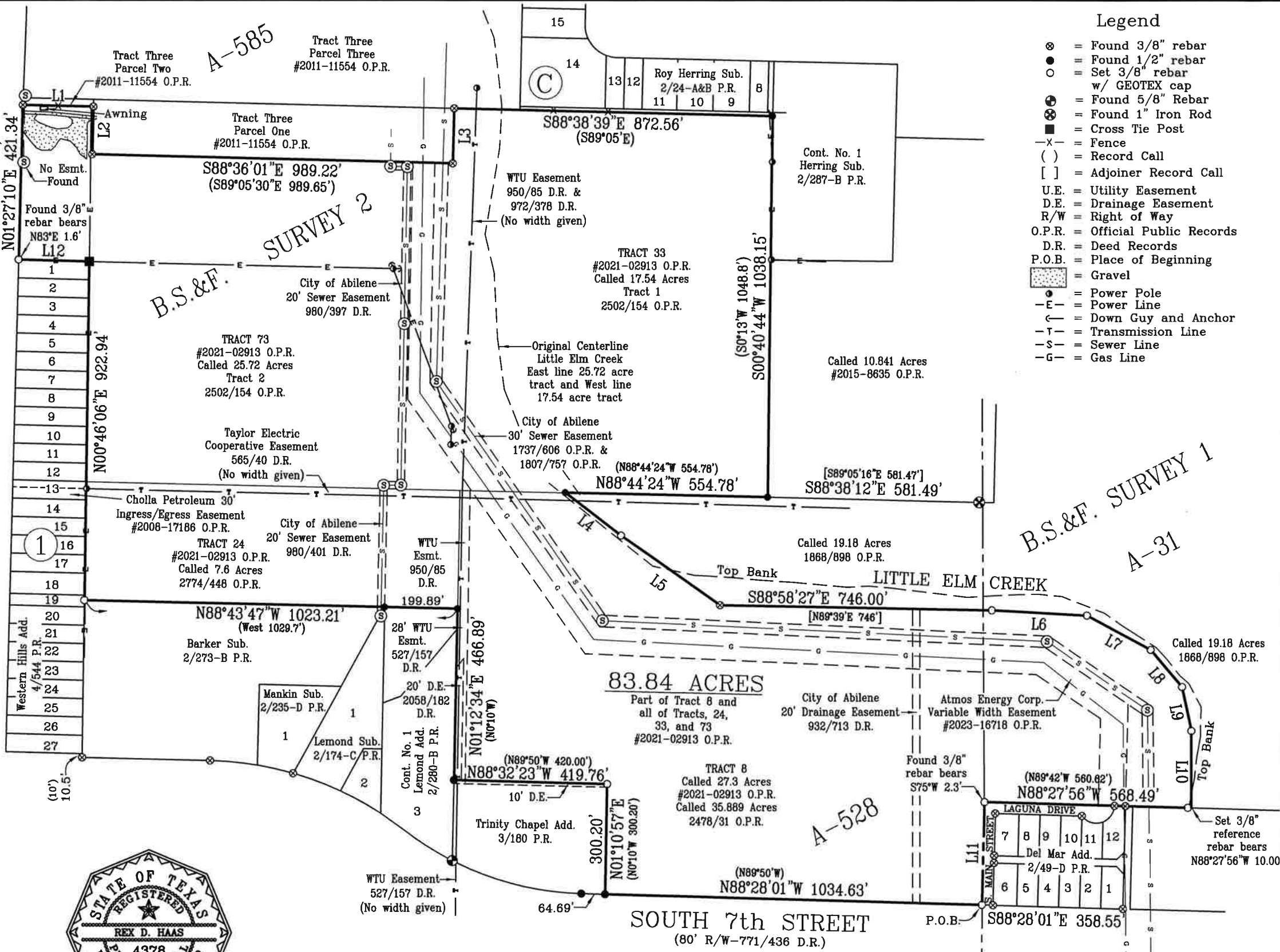
NOTE: This property is subject to easements of which are blanket in nature as follows:
 AT&T 206/292 D.R., 206/294 D.R.
 Water Line 369/199 D.R.

309 Arnold Boulevard
 5710 South 7th Street
 Abilene, Texas 79605

I hereby this to be a correct plat showing a survey of 83.84 acres of land out of B.S. & F. Survey No. 1, Abstract No. 31 and B.S. & F. Survey No. 2, Abstract No. 528 and 585, Taylor County, Texas, said 83.84 acres being part of Tract 8 and all of Tracts 24, 33 and 73, conveyed to Judith Hantman, Trustee of the Joseph M. Hantman Revocable Trust, of record in Document No. 2021-02913, Official Public Records of Taylor County, Texas and being described by accompanying field note description.
 Surveyed on the ground August 26 and 30, 2024.
 Revised May 19, 2025 (boundary & area)
 SEE ACCOMPANYING FIELD NOTE DESCRIPTION.

There are no visible or apparent protrusions or overlapping of improvements upon or off this property other than shown. (Neighboring awning protruding across north property line, fences are not entirely upon property lines.)

ARNOLD BOULEVARD
 (260' R/W)

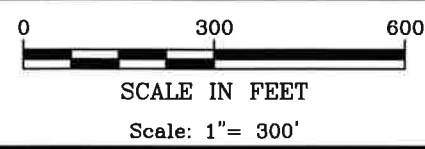


- Legend**
- ⊗ = Found 3/8" rebar
 - = Found 1/2" rebar
 - = Set 3/8" rebar w/ GEOTEX cap
 - ⊕ = Found 5/8" Rebar
 - ⊗ = Found 1" Iron Rod
 - = Cross Tie Post
 - x- = Fence
 - () = Record Call
 - [] = Adjoiner Record Call
 - U.E. = Utility Easement
 - D.E. = Drainage Easement
 - R/W = Right of Way
 - O.P.R. = Official Public Records
 - D.R. = Deed Records
 - P.O.B. = Place of Beginning
 - ▨ = Gravel
 - = Power Pole
 - E- = Power Line
 - C- = Down Guy and Anchor
 - T- = Transmission Line
 - S- = Sewer Line
 - G- = Gas Line



GEOTEX PROPERTY SOLUTIONS, LLC
 4701 South 3rd Street
 Abilene, Texas 79605
 325-677-6712
 Firm Registration No. 10194134

File No: 185-19-24
 File Name: 309 Arnold Blvd Revised
 Location: D:\ATaylor\2024\
 Geotex Property Solutions Drawn by:
 © 2024 All Rights Reserved RH



[Signature]
 Rex D. Haas
 RPLS #4378



CUP Plan of Operation: Creekside Trails RV Resort & Campgrounds

I. Introduction

This document outlines the Plan of Operation for Creekside Trails RV Resort and Campgrounds, located at 309 Arnold Blvd, Abilene, TX. This plan addresses the requirements for a Conditional Use Permit (CUP) and details the operational procedures to ensure a safe, enjoyable, and well-managed environment for all guests and the surrounding community.

II. Property Description

The Creekside Trails Community is situated at 309 Arnold Blvd, Abilene, TX on approximately 33.32 acres. The property is designed to accommodate various sizes of recreational vehicles and offers a range of amenities for guests.

III. Operational Details

A. Hours of Operation

- **Office Hours:** Monday - Friday, 9:00 AM - 5:00 PM. Sat, 9:00am -12:00
- **Check-in:** 2:00 PM
- **Check-out:** 11:00 AM

- **Quiet Hours:** 10:00 PM - 7:00 AM daily. During quiet hours, excessive noise, loud music, and disruptive activities are prohibited.

B. Access and Security

- **Gated Access:** The RV retreat will have controlled access to ensure guest safety and security.
- **On-site Management:** A manager will be on-site during operational hours and available for emergencies after hours.
- **Surveillance:** Security cameras will be strategically placed throughout the property to monitor common areas and entrances.
- **Fencing:** The property will be fenced with a combination of field fence and privacy landscaping, to include privacy fencing when required
- **Roads:** The property will feature paved roadways.

C. Site Management

- **RV Site Assignments:** Guests will be assigned specific RV sites upon check-in. Limit 8 people per site unless approved by management.
- **Site Maintenance:** All RV sites will be regularly inspected and maintained to ensure cleanliness and functionality.
- **Utility Connections:** Each RV site will be equipped with standard utility connections (electric, water, sewer) as per industry standards.
- **Pets:** Maximum of two pets per site unless approved by management.

D. Guest Services

- **Registration:** All guests are required to register at the office upon arrival and provide necessary identification and vehicle information.
- **Rules and Regulations:** A comprehensive list of rules and regulations will be provided to guests upon check-in and prominently displayed.
- **Emergency Contact:** Emergency contact information for local services (police, fire, ambulance) will be readily available.
- **Respect:** Harassment or mistreatment of our staff, guests or neighbors will not be tolerated under any circumstances.

IV. Amenities

Creekside Trails will offer a variety of amenities for guests, including but not limited to:

- Office, Restroom and Shower Facilities
- Laundry Facilities
- Pet-Friendly Areas
- Recreational Areas (e.g., picnic tables, open green spaces)
- Food Gardens
- Wi-Fi Access
- Pool (future)
- Tennis courts 2 (future)
- Cabins (future)
- Clubhouse (future)
- Walking Trail
- Pond
- Soccer Field
- Football Field
- Large lots (6000sqft+)

V. Maintenance and Upkeep

A. Grounds Maintenance

- **Landscaping:** Regular landscaping and grounds maintenance will be performed to ensure an aesthetically pleasing and safe environment. This includes mowing, trimming, and removal of debris. Landscaping will be added on frontage road in accordance with the city of Abilene and landscape will be added around the pond, and other amenities as needed.
- **Pest Control:** A regular pest control program will be implemented to manage common pests.

B. Facilities Maintenance

- **Daily Cleaning:** Restrooms, showers, and common areas will be cleaned daily.
- **Repairs:** Timely repairs will be made to all facilities and infrastructure to ensure proper functioning and safety.

C. Waste Management

- **Trash Receptacles:** Sufficient and clearly marked trash receptacles will be available throughout the property.
- **Regular Collection:** Trash will be collected regularly to prevent overflow and maintain cleanliness.

- **Recycling:** Opportunities for recycling will be provided where feasible.
- **Composting:** Plans for collection and management of compostable food waste products will be made.

VI. Safety and Emergency Procedures

A. Fire Safety

- **Fire Extinguishers:** Fire extinguishers will be readily accessible in common areas and key facilities.
- **Emergency Exits:** Clearly marked emergency exits will be established and maintained.
- **Fire Pit Regulations:** Strict rules regarding the use of fire pits will be enforced, including designated areas and supervision.

B. Medical Emergencies

- **First Aid:** Basic first aid supplies will be available at the office.
- **Emergency Services:** In case of a serious medical emergency, guests will be instructed to call 911 immediately.

C. Severe Weather

- **Warning System:** A system for alerting guests to severe weather conditions will be in place.
- **Shelter Information:** Information on designated storm shelters or safe areas will be provided to guests.

VII. Environmental Considerations

A. Noise Control

- **Quiet Hours Enforcement:** Strict enforcement of quiet hours will be maintained to minimize noise disruption to guests and neighbors.
- **Sound Barriers:** Where necessary, natural or artificial sound barriers will be considered to mitigate noise.

B. Lighting

- **Appropriate Illumination:** Adequate lighting will be provided for safety and security, while minimizing light pollution to the surrounding area.
- **Dark Sky Compliance:** Efforts will be made to comply with dark sky initiatives where applicable.

C. Stormwater Management

- **Drainage Systems:** Proper drainage systems will be maintained to manage stormwater runoff effectively and prevent erosion or flooding.

VIII. Parking

- **Designated Parking:** Guests will be instructed to park their vehicles only in designated RV sites or overflow parking areas.
- **Vehicle Speed Limits:** A low speed limit will be enforced within the RV retreat to ensure pedestrian safety.

IX. Community Relations

Creekside Trails is committed to being a good neighbor and will:

- **Address Concerns:** Promptly address any concerns or complaints from local residents or authorities.
- **Maintain Property:** Keep the property clean, well-maintained, and visually appealing.
- **Communicate:** Maintain open communication with local authorities and the community.

X. Compliance

Creekside Trails will operate in full compliance with all applicable federal, state, and local laws, ordinances, and regulations, including those pertaining to zoning, health, safety, and environmental protection.

XI. Basic Park Layout

The campgrounds maximizes green space and will include 7 RV pads per acre. Reference concept plan for more details.

XII. Conclusion

This Plan of Operation demonstrates Creekside Trails' commitment to providing a high-quality, safe, and well-managed experience for its guests while being a responsible member of the Abilene community. We believe this plan addresses all necessary considerations for the Conditional Use Permit and look forward to contributing positively to the area.

Tyler Wilson
Owner/Developer
681.590.0613



CONDITIONAL USE PERMIT

Case: CUP-2026-02

Owner: Tyler Wilson

Request: A Conditional Use Permit to allow an RV Park in Agricultural Open (AO) and General Commercial (GC) Zoning.

Location: 309 Arnold Blvd.

Notification: 0 in Favor, 1 in Opposition

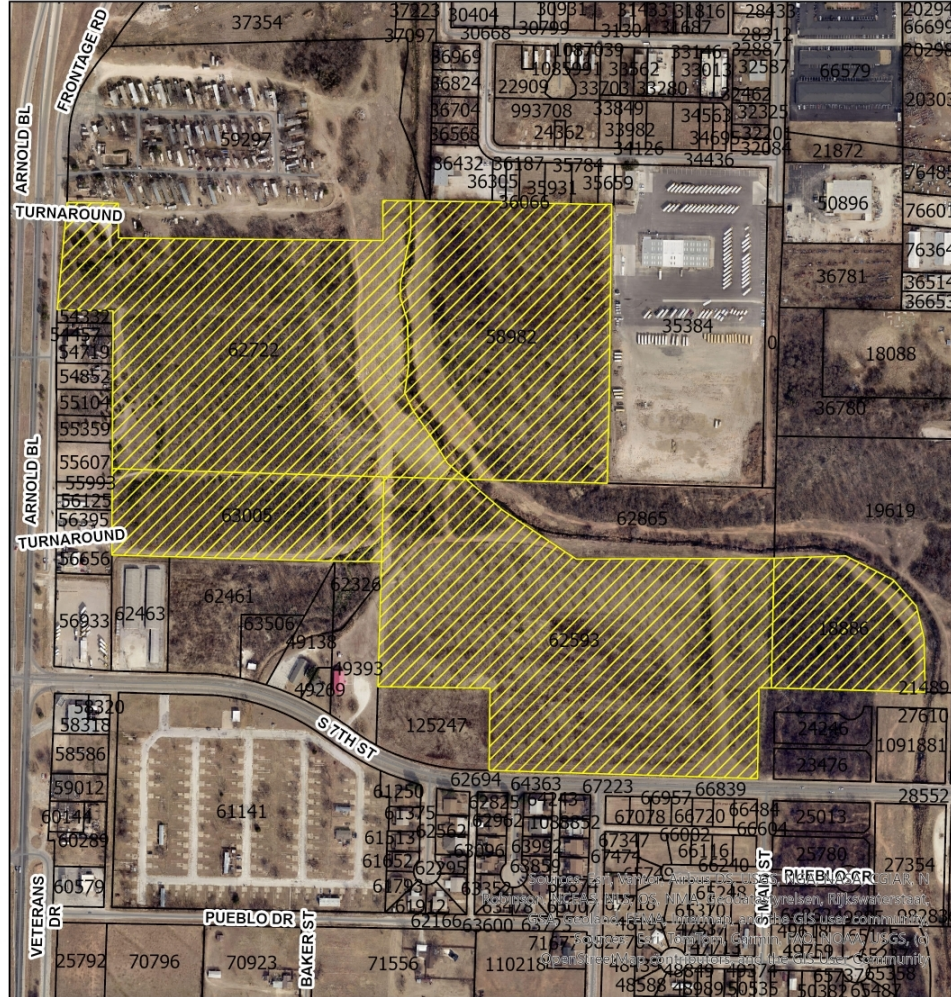
Planning & Zoning: February 3, 2026

Council Hearing: February 26, 2026
March 12, 2026





AERIAL LOCATION MAP



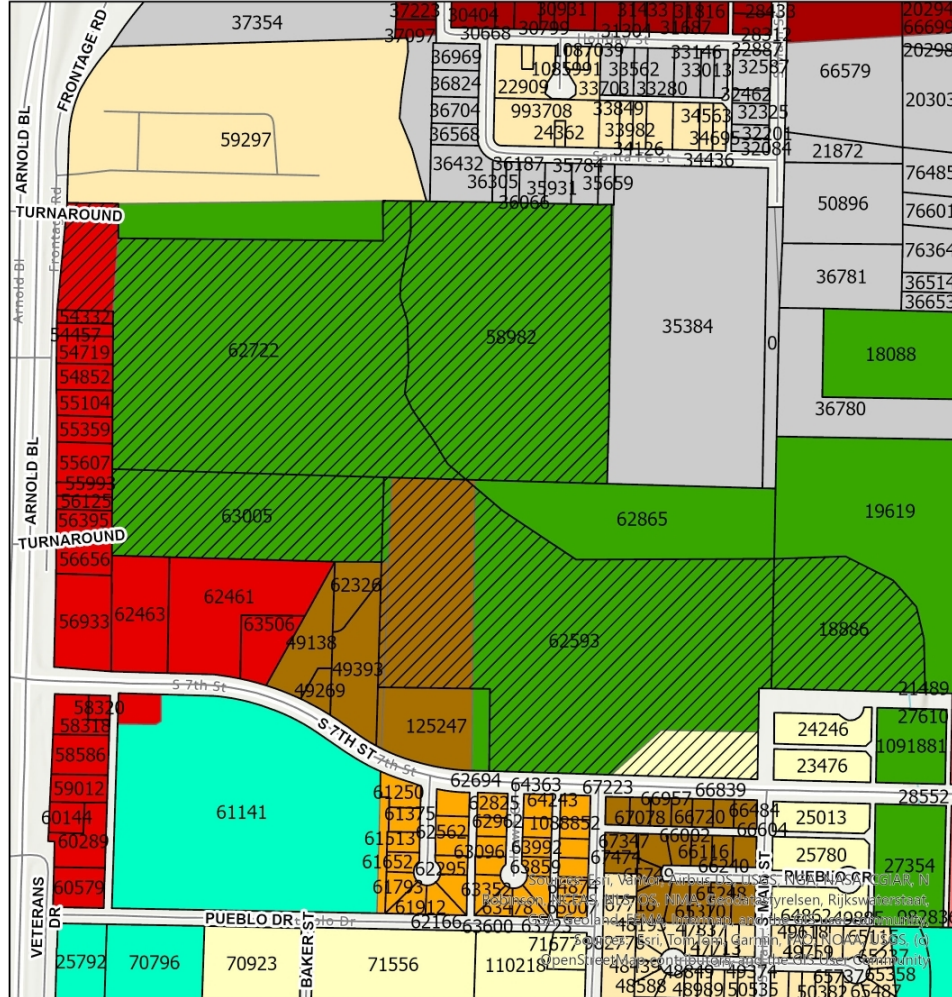
0.1
Miles

 CUP-2026-02





ZONING MAP



0.1
Miles

- CUP-2026-02
- Zoning Districts
- AO
 - GC
 - GR
 - HC
 - LI
 - MD
 - MF
 - MH
 - PD
 - RS-6





USES IN AGRICULTURAL OPEN ZONING

RESIDENTIAL USES:

- C Bed & Breakfast
- P Dwelling– Industrialized Housing Unit
- P Dwelling – Single-Family Detached
- C Vacation Travel Trailer Park

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P Animal Lot
- P/C Day Care Operation – Home-Based*
- P Dwelling – Accessory*
- TP Field Office or Construction Office (temporary)*
- P Freight Container*
- P Garage Sale
- P Home Occupation
- C Mobile Home (permanent security residence)
- C Mobile Home (temporary security residence)
- TP Subdivision Sales Office (temporary)
- P Swimming Pool, Private (accessory to residential use)
- P Tennis Court, Private (accessory to residential use)
- P/SE Wind Energy Conversion Systems*

CULTURAL AND RECREATIONAL USES:

- P Civic, Social, and Fraternal Organization
- P Fairgrounds/Rodeo
- C Motorized Racing
- C Recreation – Outdoors (active)
- P Recreation – Outdoors (passive)
- P Zoo

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- P Community Home
- C Correction, Detention, or Penal Facilities
- P Fire/Police Station
- C Military and Armed Forces Reserve Center
- C Sanitary Landfill

EDUCATIONAL AND RELIGIOUS USES:

- C Cemetery, Crematorium, and Mausoleum
- P Church or Place of Worship
- P School: Public/Private

SERVICE:

- C Kennel (with outdoor pens)
- P Kennel (without outdoor pens)
- P Veterinary Service (all size animals)

TRADE – RETAIL USES:

- C Liquor Store (on premises consumption) (Defined under Liquor Store)

TRANSPORTATION, COMMUNICATION AND UTILITIES:

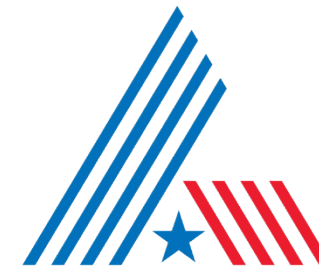
- C Airport, Heliport and Flying Field Terminals – Commercial
- C Antenna Tower – Commercial
- P Public Utility Facility
- C Utility Generation, Production, Treatment

RESOURCE PRODUCTION AND EXTRACTION USES:

- P Farming, Ranching & Livestock, Hatchery
- C Mining
- C Petroleum or Gas Well
- P Urban Garden

LEGEND

- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
- TP Permitted by Temporary Permit Only, Requiring Approval by Board of Adjustment



CITY OF
ABILENE
TEXAS



USES IN GENERAL COMMERCIAL ZONING

RESIDENTIAL USES:

- P Hotel/Motel
- C Vacation Travel Trailer Park

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P Drive-Thru Facility
- TP Field Office or Construction Office (temporary)
- C Freight Container
- P Fuel Sales
- TP Itinerant Business
- P Manufacturing (incidental)
- C Mobile Home (permanent security residence)
- TP Mobile Home (temporary security residence)
- C Mobile Home or Temporary Building (office for sales and service)
- P Recycling Collection Point
- C Travel Trailers (accessory to hospitals)
- P/SE Wind Energy Conversion Systems

CULTURAL AND RECREATIONAL USES:

- P Civic, Social, and Fraternal Organization
- P Cultural Facilities
- P Drive-in Theater
- P Recreation – Outdoors (active)
- P Recreation – Outdoors (passive)
- P Recreation and Commercial Entertainment – Indoor

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- P Ambulance Service
- P Fire/Police Station
- C Homeless/Emergency Shelter
- P Hospital
- P Medical/Dental Laboratory
- P Post Office
- C Rehabilitation Facility
- P Social Service Facility

EDUCATIONAL AND RELIGIOUS USES:

- P Arts School
- C Cemetery, Crematorium, and Mausoleum
- P Church or Place of Worship
- P Day-Care Operation - Center-Based
- P Educational and Scientific Research
- P School: Public/Private
- P Trade/Business School
- P University/College

SERVICE:

- P/C Automobile Wash
- C Contractor Services
- P Funeral Home/ Mortuary/Morgue
- C Kennel (With Outdoor Pens)
- P Kennel (Without Outdoor Pens)
- P Laundry, Dry Cleaning, Dyeing, and Linen Service (no retail customers)
- P Laundry/Dry Cleaning Services & Facilities
- P Office (general, professional, financial)
- P Personal Services
- P Printing, Copying, Reproduction, Publishing
- C Recycling Collection and Processing Center
- P Repair and Maintenance Services - Automobile/Small Truck (major)
- P Repair and Maintenance Services - Automobile/Small Truck (minor)
- P Repair and Maintenance Services (indoor)
- C Repair and Maintenance Services (outdoors)
- P Storage - Self-Service Units
- P Tattoo Parlor
- P Taxidermist
- P Veterinary Service (small animals)

RESOURCE PRODUCTION AND EXTRACTION USES:

- P Petroleum or Gas Well
- P Urban Garden

TRADE – WHOLESALE USES:

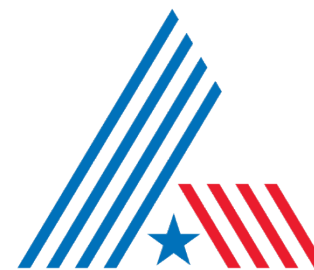
- C Wholesaling and Storage (indoor)

TRADE – RETAIL USES:

- C Aircraft and Accessories
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P Fuel Sales
- P Liquor Store (Off Premises Consumption) (*Defined under Liquor Store*)
- P Liquor Store (On Premises Consumption) (*Defined under Liquor Store*)
- P Restaurant, Brew Pub
- P Restaurant, Fast Food
- P Restaurant, Standard
- P Retail Sales/Rental (automobile/small truck)
- P Retail Sales/Rental (indoor)
- P Retail Sales/Rental (outdoors, non-vehicle)
- C Retail Sales/Rental (trucks and other large vehicles and equipment)

TRANSPORTATION, COMMUNICATION AND UTILITIES:

- C Antenna Tower - Commercial
- P Automobile Parking Lot or Structure - Commercial
- P Broadcast Studio
- P Passenger Ground Transportation Terminal
- P Pressure Control Station
- P Public Utility Facility



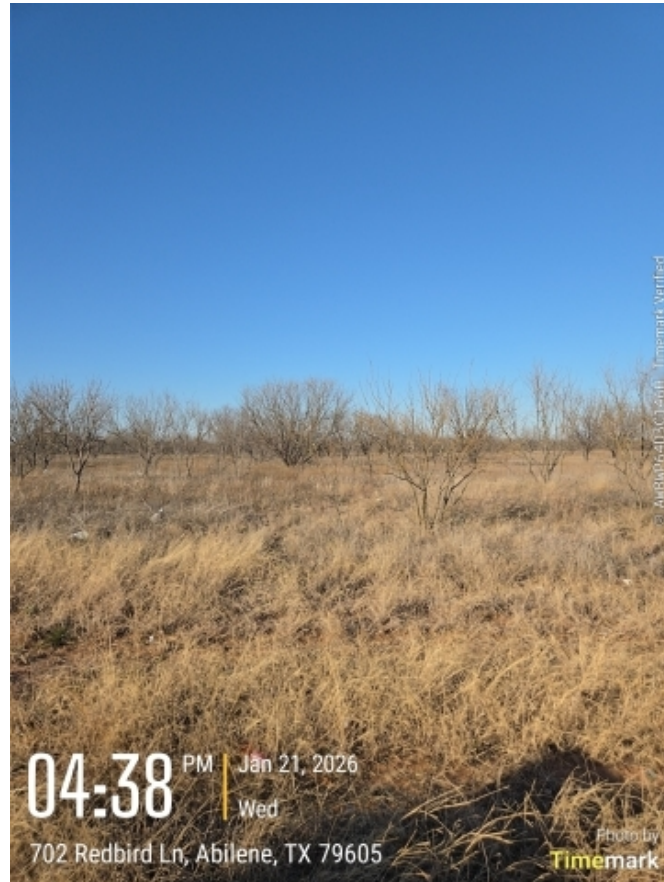
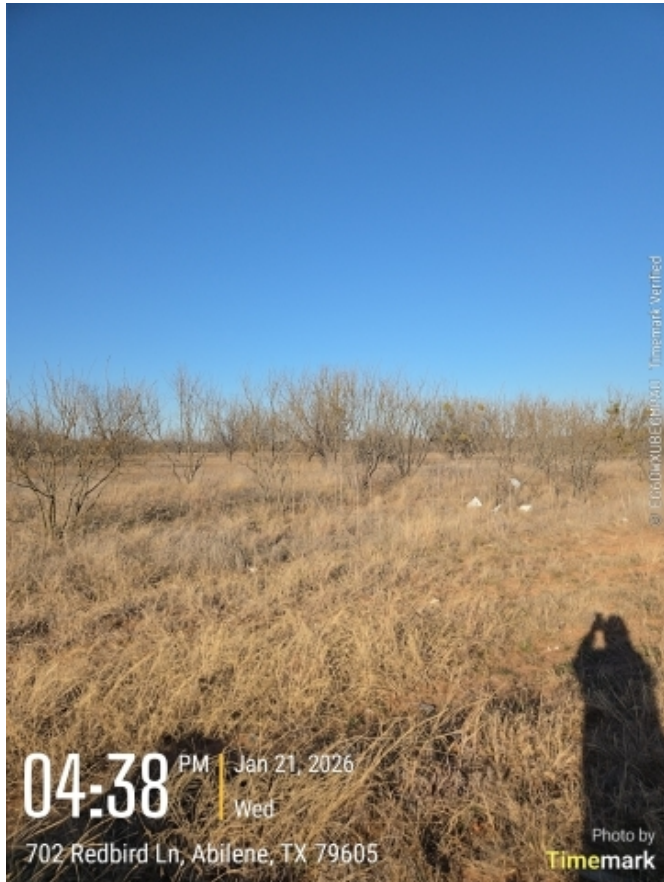
CITY OF
ABILENE
T E X A S

LEGEND

- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
- TP Permitted by Temporary Permit Only, Requiring Approval by Board of Adjustment



PROPERTY VIEWS





SURROUNDING PROPERTY VIEWS





CONCEPT PLAN

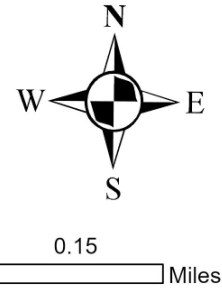
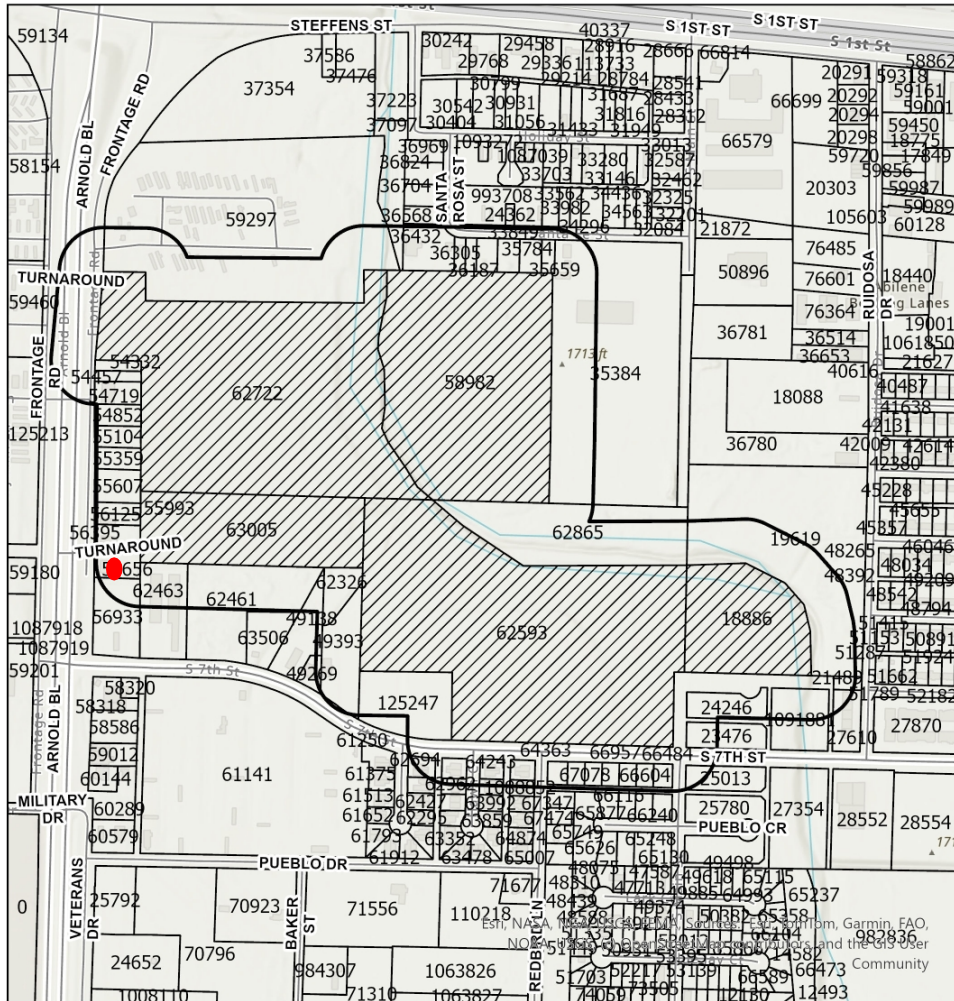


Concept Plan





NOTIFICATION AREA MAP



0 - In Favor- ●
 1 - Opposed- ●
 1.31% in Opposition

▨ CUP-2026-02
 □ Notification Area





FINDINGS AND RECOMMENDATION

The proposed request is consistent with:

- The *Comprehensive Plan*;
- The surrounding uses and zoning;
- Generally accepted planning principals; and
- The Criteria for Approval in the LDC.

P&Z Recommendation: **approval** subject to the concept plan and plan of operation.





Questions?





**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Tim Littlejohn, Director of Planning & Development Services

ITEM: 7. Ordinance (First Reading) CUP-2026-03: Receive a Report, Hold a Discussion and Take Action on A Request From The Owner To Apply A Conditional Use Permit To A Property To Allow an RV Park in Agricultural Open (AO) and General Commercial (GC) Zoning within 239.86 Acres. Located at 3799 N Danville Drive. (Tim Littlejohn)

GENERAL INFORMATION

The subject property has remained mostly undeveloped except for a billboard that was erected along N Danville Dr. The applicant is proposing a 147 RV space Recreational Vehicle Park within the Agricultural Open (AO) zoning.

FUNDING/FISCAL IMPACT

STAFF AND/OR BOARD RECOMMENDATION

Planning and Zoning Commission recommends **approval** of the Conditional Use Permit, subject to the concept plan and plan of operation

ATTACHMENTS:

1. Ordinance
2. Staff Report
3. Plan of Operations_Redacted
4. Metes and Bound
5. Concept Plan
6. 3750 Old Anson Rd - Opposed
7. 3060 W. Overland Trail - Favor
8. Presentation

BACKUP DOCUMENTATION UPDATED? No

UPDATED ON:

AN ORDINANCE OF THE CITY OF ABILENE, TEXAS, AMENDING THE, "LAND DEVELOPMENT CODE" OF THE ABILENE CITY CODE, BY APPROVING A CONDITIONAL USE PERMIT (CUP) AFFECTING A CERTAIN PROPERTY; CALLING A PUBLIC HEARING; PROVIDING A PENALTY AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS:

PART 1: That Chapter 23 of the Land Development Code of the City of Abilene, is hereby amended by approving a Conditional Use Permit (CUP) as set out in Exhibit A, attached hereto and made a part of this ordinance for all purposes.

PART 2: That any person, firm or corporation violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor, and upon conviction thereof, shall be punished by a fine of not more than Two Thousand Dollars (\$2,000.00). Each day such violation shall continue or be permitted to continue, shall be deemed a separate offense.

PART 3: That the Planning Director be, and is hereby authorized and directed to change the official Zoning Map of the City of Abilene to correctly reflect the amendments thereto.

PASSED ON FIRST READING the 26th day of February, 2026.

A notice of the time and place, where and when said ordinance would be given a public hearing and considered for final passage, was published in the *Abilene Reporter-News*, a daily newspaper of general circulation in the City of Abilene, said publication being on the 16th day of January, 2026, the same being more than fifteen (15) days prior to a public hearing held in the Council Chamber of the City Hall in Abilene, Texas, at 8:30 a.m. on the 12th day of March, 2026, to permit the public to be heard prior to final consideration of this ordinance. Said ordinance, being a penal ordinance, becomes effective ten (10) days after its publication in the newspaper, as provided by Section 19 of the Charter of the City of Abilene.

PASSED ON FINAL READING THIS 12th day of March, 2026.

ATTEST:

CITY SECRETARY

MAYOR

APPROVED:

CITY ATTORNEY

ORDINANCE NO. _____

EXHIBIT A

Apply a Conditional Use Permit to allow Recreational Vehicles in Agricultural Open (AO) Zoning.

Legal description as follows:

FIELD NOTES
83.84 ACRES

BEING 83.84 acres of land out of B.S. & F. Survey No. 1, Abstract No. 31 and B.S. & F. Survey No. 2, Abstract No. 528 and 585, Taylor County, Texas, said 83.84 acres being part of Tract 8 and all of Tracts 24, 33, and 73, conveyed to Judith Hantman, Trustee of the Joseph M. Hantman Revocable Trust, of record in Document No. 2021-02913, Official Public Records, Taylor County, Texas (O.P.R.T.C.T.), said 83.84 acres being more particularly described as follows:

BEGINNING at a 3/8" rebar w/ GEOTEX cap set on the north line of South 7th Street (80' R.O.W. 771/436 D.R.) at the westerly southeast corner of said Tract 8, said Tract 8 being a called 35.889 acre tract of record in Volume 2478, Page 31, O.P.R.C.T.C.T., and being at the intersection of the west line of Del Mar Addition (2/49-D P.R.) and the north line of said South 7th Street, for the westerly southeast corner of this tract, whence the southeast corner of said Survey No. 2 is recorded to bear (2478/31) South 201.7 feet;

THENCE N88°28'01"W 1034.63 feet, with the north line of said South 7th Street and the most southerly line of said 35.889 acre tract, to a recovered 1/2" rebar at the southeast corner of Trinity Chapel Addition, of record in Cabinet 3, Slide 180, Plat Records, Taylor County, Texas (P.R.T.C.T.), for the most easterly southwest corner of this tract;

THENCE N01°10'57"E 300.20 feet, to a 3/8" rebar w/ GEOTEX cap set at the northeast corner of said Trinity Chapel Addition, for an interior corner of this tract;

THENCE N88°32'23"W 419.76 feet, to a recovered 1/2" rebar on the west line of said 35.889 acre tract at the northwest corner of said Trinity Chapel Addition and being on the east line of Continuation No. 1, Lemond Addition, of record in Cabinet 2, Slide 280-B, P.R.T.C.T., for a southwest corner of this tract;

THENCE N01°12'34"E 466.89 feet, with the west line of said 35.889 acre tract and the east line of said Continuation No. 1, Lemond Addition, to a recovered 1/2" rebar at the southeast corner of said Tract 24, a called 7.6 acre tract of record in Volume 2774, Page 448, O.P.R.T.C.T., for an interior corner of this tract;

THENCE N88°43'47"W, with the south line of said 7.6 acre tract, at a distance of 199.89 feet, pass a recovered 1/2" rebar at the north corner of Lemond Subdivision, of record in Cabinet 2, Slide 174-C, P.R.T.C.T. and continue on same course with the south line of said 7.6 acre tract, the north line of said Lemond Subdivision and the north line of Barker Subdivision, of record in Cabinet 2, Slide 273-B, P.R.T.C.T., for a total distance in all of 1023.21 feet, to a 3/8" rebar w/ GEOTEX cap set on the east line of Western Hills Addition, Block 1, of record in Cabinet 4, Slide 544, P.R.T.C.T. at the southwest corner of said 7.6 acre tract, for a southwest corner of this tract;

THENCE N00°46'06"E 922.94 feet, with the west line of said 7.6 acre tract, the west line of said Tract 73, a called 25.72 acre tract designated Tract 2 described in Volume 2502, Page 154, O.P.R.T.C.T. and the east line of said Block 1, to a cross tie corner post at an interior corner of said 25.72 acre tract, same being the northeast corner of Lot 1, Block 1, said Western Hills Addition, for an interior corner of this tract;

THENCE N88°18'28"W 190.99 feet, with a south line of said Tract 73 and the north line of said Lot 1, to a 3/8" rebar w/ GEOTEX cap set on the east line of said Arnold Boulevard at the northerly southwest corner of said 25.72 acre tract, same being the northwest corner of said Lot 1, Block 1, for the most northerly southwest corner of this tract, whence a recovered 3/8" rebar bears N83°E 1.6 feet;

THENCE N01°27'10"E 421.34 feet, with the east line of said Arnold Boulevard and the most westerly line of said 25.72 acre tract, to a recovered 3/8" rebar at the northwest corner of said 25.72 acre tract, same being the southwest corner of that certain tract designated Tract Three, Parcel Two, of record in Document No. 2011-11554, O.P.R.T.C.T., for the extreme northwest corner of this tract;

THENCE S88°36'04"E 190.77 feet, with the most northerly line of said 25.72 acre tract and the south line of said Tract Three, Parcel Two, to a recovered 3/8" rebar at the westerly northeast corner of said 25.72 acre tract, same being the southeast corner of said Tract Three, Parcel Two and being on the west line of that certain tract designated Tract Three, Parcel One, of record in said Document No. 2011-11554, O.P.R.T.C.T., for an exterior corner of this tract;

THENCE S01°28'59"W 130.09 feet, with the east line of said 25.72 acre tract and the west line of said Tract Three, Parcel One, to a recovered 3/8" rebar at an interior corner of said 25.72 acre tract and the southwest corner of said Tract Three, Parcel One, for an interior corner of this tract;

THENCE S88°36'01"E 989.22 feet, with a north line of said 25.72 acre tract and the south line of said Tract Three, Parcel One, to a recovered 3/8" rebar at an interior corner of said 25.72 acre tract and the southeast corner of said Tract Three, Parcel One, for an interior corner of this tract;

ORDINANCE NO. _____

83.84 acres continued

THENCE N01°32'02"E 149.95 feet, with a west line of said 25.72 acre tract and the east line of said Tract Three, Parcel One, to a recovered 3/8" rebar at an exterior corner of said 25.72 acre tract and the northeast corner of said Tract Three, Parcel One and being on the south line of that certain tract designated Tract Three, Parcel Three in said Document No. 2011-11554, O.P.R.T.C.T., for an exterior corner of this tract;

THENCE S88°38'39"E, with a north line of said 25.72 acre tract and the south line of said Tract Three, Parcel Three, at a distance of 120.37 feet (record call), pass the northeast corner of said 25.72 acre tract and the northwest corner of said Tract 33, being a called 17.54 acre tract of record in Volume 2502, Page 154, O.P.R.T.C.T. and continue on same course with the north line of said 17.54 acre tract and part of the way with the south line of Roy Herring Subdivision, of record in Cabinet 2, Slide 24-A&B, P.R.T.C.T., for a total distance in all of 872.56 feet, to a recovered 1/2" rebar on the west line of Continuation No. 1, Herring Subdivision, of record in Cabinet 2, Slide 287-B, P.R.T.C.T., being the northeast corner of said 17.5 acre tract, for the extreme northeast corner of this tract;

THENCE S00°40'44"W, with the east line of said 17.54 acre tract and the west line of said Continuation No. 1, Herring Subdivision, at a distance of 391.91 feet, pass the southwest corner of said Continuation No. 1, Herring Subdivision and the southerly northwest corner of a called 10.841 acre tract of record in Document No. 2015-8635, O.P.R.T.C.T. and continue on same course with the east line of said 17.54 acre tract and the west line of said 10.841 acre tract, for a total distance in all of 1038.15 feet, to a recovered 1/2" rebar on the north line of a called 19.18 acre tract of record in Volume 1868, Page 896, O.P.R.T.C.T., same being the southeast corner of said 17.54 acre tract and the southwest corner of said 10.841 acre tract, for the northerly southeast corner of this tract, whence a recovered 1" iron rod at the southeast corner of said 10.841 acre tract bears S88°38'12"E 581.49 feet;

THENCE N88°44'24"W 554.78 feet, with the north line of said 19.18 acre tract and the south line of said 17.54 acre tract and crossing Little Elm Creek (now located), to a recovered 1/2" rebar on the west top bank of said Little Elm Creek at the westerly northeast corner of said 35.889 acre tract and the northwest corner of said 19.18 acre tract, for an interior corner of this tract;

THENCE in a southeasterly direction generally along the southwest, south and west top bank and with the common line of said 19.18 acre tract and said 35.889 acre tract, the following eight (8) calls:

1. S52°32'08"E 192.50 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
2. S55°05'40"E 331.46 feet, to a recovered 3/8" rebar, for an angle corner of this tract;
3. S88°58'27"E 746.00 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
4. S86°59'27"E 262.50 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
5. S62°00'27"E 199.00 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
6. S40°01'27"E 131.70 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
7. S12°04'27"E 122.50 feet, to a 3/8" rebar w/ GEOTEX cap set for an angle corner of this tract;
8. S00°01'27"E 209.65 feet, to a 3/8" rebar w/ GEOTEX cap set on the north line of said Del Mar Addition at the easterly southeast corner of said 35.889 acre tract and the southwest corner of said 19.18 acre tract, for easterly southeast corner of this tract;

THENCE N88°27'56"W 568.49 feet, with the north line of said Del Mar Addition and the northerly south line of said 35.889 acre tract, to a 3/8" rebar w/ GEOTEX cap set at the northwest corner of said Del Mar Addition at an interior corner of said 35.889 acre tract, for an interior corner of this tract, whence a recovered 3/8" rebar bears S75°W 2.3 feet;

THENCE S01°32'04"W 279.92 feet, with the easterly west line of said 35.889 acre tract and the west line of said Del Mar Addition, to the place of beginning and containing 83.84 acres of land.

Surveyed on the ground August 26 and 30, 2024.

Revised May 19, 2025 (boundary and area)

Located at 3799 N Danville Dr.

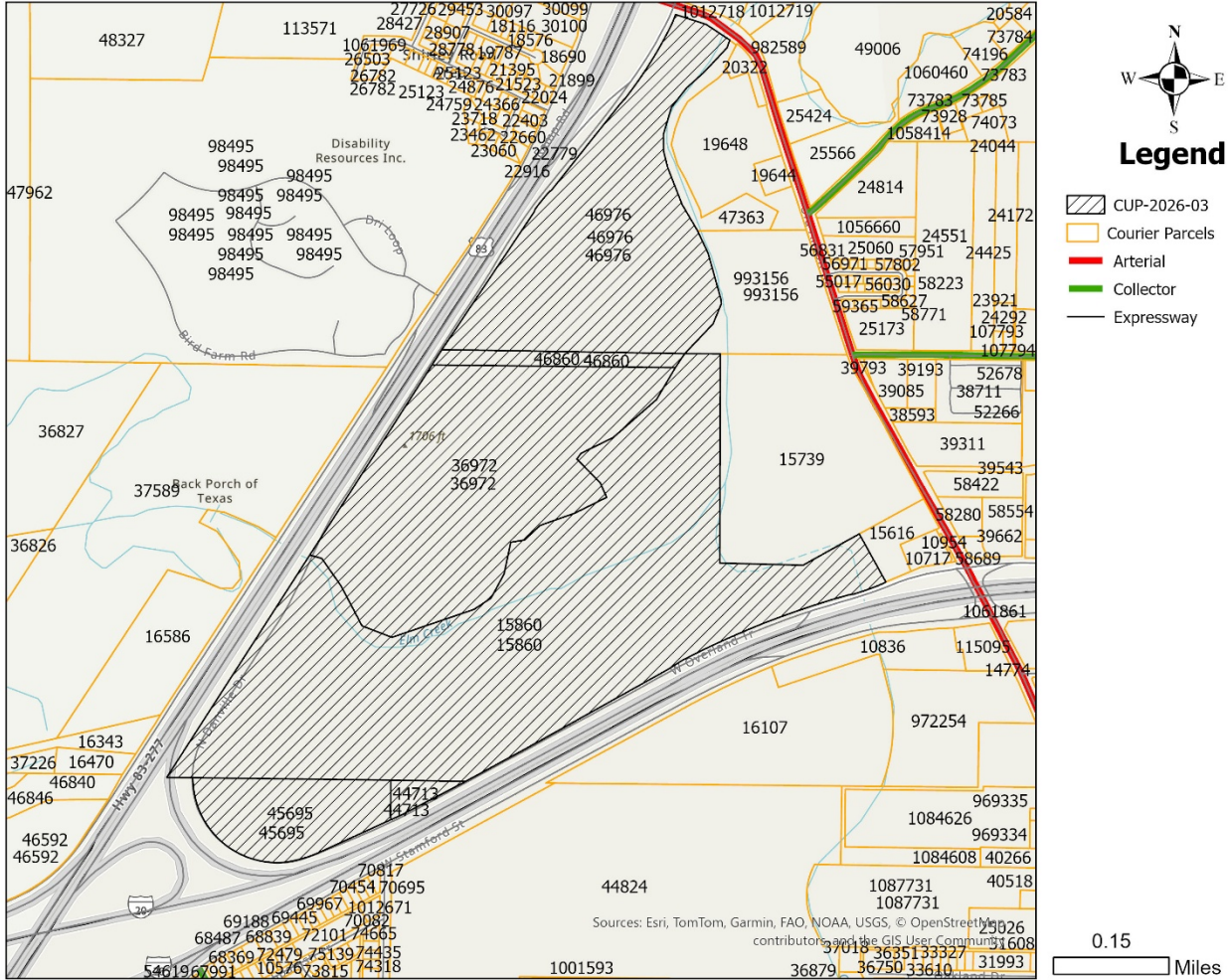


EXHIBIT B



CONCEPTUAL RV PARK PROPOSED OVERALL SITE MAP

EXHIBIT C



PLAN OF OPERATIONS – REVISION 1

Northwest Abilene RV Park (Project No. 2513)

1. PROJECT DESCRIPTION

- 1.1) PROPERTY ADDRESS: 3799 North Danville Drive, Abilene, TX 79601
 - i.) Note: Platting for the area of proposed improvements is being sought concurrently with the application for a Conditional Use Permit. As such, the address may undergo a change over the course of the project.
- 1.2) OWNER AND REPRESENTATIVE AGENT INFORMATION:
 - i.) OWNER NAME: SPIT LLC
 - ii.) OWNER POINT OF CONTACT: Matt Smith
 - iii.) REPRESENTATIVE AGENT NAME: Clint Taylor, P.E.
 - iv.) REPRESENTATIVE AGENT ROLE: Engineer
 - v.) REPRESENTATIVE AGENT CONTACT:
 - a.) Email: clint.taylor@taylor-engineering.net
 - b.) Phone: 713-449-8332
- 1.3) CURRENT ZONING OF PROPOSED PROJECT AREA: Agricultural Open (AO)
- 1.4) SURROUNDING LAND USE: Agricultural Open (AO), Light Industrial (LI), Heavy Commercial (HC), Mobile Home (MH), General Commercial (GC), Highway/Roadway
- 1.5) PROPOSED USE: The proposed use of this property is for development into a Recreational Vehicle (RV) park. The RV park would be designed to accommodate long-term and short-term occupants, incorporate bath house, laundry, and workout facilities, and include park and recreational areas.
- 1.6) EXECUTIVE SUMMARY: The proposed project seeks to develop an RV park in the Northwest Abilene area near the intersection of US Highway 277 and Interstate-20. Located near the new Stargate data center, the park is ideally located to provide a flexible option for employees, as well as to provide a family-friendly destination near all the attractions Abilene has to offer. The proposed park would feature 147 total RV sites ranging from 55-foot to 85-foot in length and include both back-in and pull-through sites to allow guests to select the most optimal option for their preference and vehicle(s). All sites will include water, sewer, and electrical connections. The park and its amenities are designed with long-term and short-term guest stays in mind, featuring bath house, laundry, and workout facilities, landscaped areas, and parks and recreational areas to provide an enhanced guest experience.

2. OPERATIONAL DETAILS

- 2.1) HOURS OF OPERATION: The hours of operation of the Main Entrance Building are expected to be 8 AM to 5 PM, seven days a week. The RV sites themselves shall always be in operation, seven days a week.
- 2.2) NUMBER OF EMPLOYEES/OCCUPANTS:
 - i.) The site is expected to operate with two (2) employees per day.
 - ii.) The proposed design features a total of 147 sites. Assuming an average of two and a half (2.5) people per site, the maximum expected occupancy from park sites would be 368 people.



2.3) EXPECTED TRAFFIC: The typical length of short-term stay at a resort RV park is assumed to be approximately six (6) nights, while the typical length of a long-term stay at an RV park is assumed to be approximately three (3) months. Treating 75% (110 sites) of RV sites as designated long-term sites and 25% (37 sites) as designated short-term sites (per Land Development Code Section 4.2.11.4d), and assuming a maximum occupancy of 100%, this results in an expected guest turnover of fifty-two (52) arrivals and fifty-two (52) departures per week. Additionally, standard traffic from daily guest activities such as commuting to work, grocery shopping, or social outings is expected.

2.4) PARKING ARRANGEMENTS:

- i.) RV site parking arrangements. Each RV site is equipped with two (2) spaces to park a standard car as well as one (1) space to park an RV. The sizes of RV parking sites vary in size, type, and quantity as follows:
 - a.) 85-foot pull-through RV parking space, 15 total quantity (10.2% of total sites)
 - b.) 65-foot pull-through RV parking space, 59 total quantity (40.1% of total sites)
 - c.) 55-foot back-in RV parking space, 73 total quantity (49.7% of total sites)
- ii.) Main Entrance Building and Bath House, Laundry Room, and Workout Room parking arrangements. The proposed design features a total of fifteen (15) vehicle parking spaces at the Main Entrance Building, as well as twenty (20) vehicle parking spaces at the Bath House, Laundry Room, and Workout Room.

2.5) DELIVERIES/LOADING ACTIVITIES: Standard mail delivery is expected to be directed to the Main Entrance Building. Some minimal loading/unloading activities are possible for amenities such as vending machines or a small concessions store. However, no large-scale loading activities are anticipated, and the proposed design does not feature any sites, such as loading docks, intended for large-scale loading or unloading activities.

2.6) NOISE AND LIGHTING CONSIDERATIONS:

- i.) Noise considerations. Quiet hours shall be in effect from 10 PM to 8 AM daily. Guests shall be provided with rules regarding quiet hours and acceptable noise at the commencement of stay.
- ii.) Lighting considerations. Street lighting throughout the park shall consist of fully solar-powered streetlights. All streetlights shall be downward facing to minimize light pollution in the area. A courteous lighting policy shall be observed from 10 PM to 8 AM daily, with RV external lighting being dimmed or turned off. Guests shall be provided with rules regarding quiet hours and acceptable lighting at the commencement of stay.

3. COMPLIANCE AND COMPATIBILITY

3.1) LAND DEVELOPMENT CODE REQUIREMENTS:

- i.) Size, density, location, setbacks.
 - a.) Maximum site density. The park as currently proposed conforms to the requirement of no more than 10 units per acre.
 - b.) Minimum site size. The proposed area of improvements is greater than the minimum of 5 acres.
 - c.) Site location. The proposed site layout ensures the park maintains a minimum 300-foot distance between itself and any residentially zoned nearby areas, except Agricultural Open (AO) zoned areas.
 - d.) Size, marking and separation of individual sites.
 - 1) Each individual site within the proposed park includes space for one (1) recreational vehicle as well as two (2) individual vehicles, and an area of adequate space to fit a picnic table/grill.
 - 2) Sites shall be clearly marked at each corner, and shall be level, paved, and well drained.
 - 3) Each proposed site is spaced adequately to allow each travel trailer or recreational vehicle to maintain a minimum of 15-feet between itself and the next nearest travel trailer or permanent building.



- 4) The park layout is designed to ensure all minimum setback distances for travel trailers as outlined in Table 4-4 of the Land Development Code Section 4.2.11.2e are maintained.
- ii.) Ingress/egress.
 - a.) Public street. The park entrance/exit is directly linked to North Danville Drive, a service road running parallel to US Highway 277.
 - b.) Width and radius. The proposed ingress/egress roadway has a width of 36-feet and maintains a 25-foot curb radius.
 - c.) Paving. All roadways within the proposed park, to include ingress/egress roadway along with all interior roads, shall be hot mix roadway or concrete, while RV sites shall be concrete pavement, meeting paving requirements for all surfaces intended for vehicular use and parking.
 - d.) No access through residential zoning districts. The proposed design does not include any entrances or exits through a residential zoning district.
- iii.) Miscellaneous requirements.
 - a.) Refuse containers or areas. The RV park shall ensure that adequate and conveniently located area(s) of refuse collection are provided for all guests in watertight and rodent-proof containers.
 - b.) Accessory uses. All proposed accessory use buildings are located greater than 50-feet from the nearest public street. The design shall ensure the sum total area occupied by these buildings is less than 10% of the total area.
 - c.) Duration of stay. To ensure compliance, up to 110 (75%) of the sites shall be designated as long-term (up to 12 months of stay with 60-day minimum interim before return), while a minimum of 37 (25%) of the sites shall be designated as short-term (up to 3-month stay with 60-day minimum interim before return).
 - d.) Sanitary facilities.
 - 1) The proposed Bath House design features four (4) total toilets, sinks, and showers for each sex, resulting in eight (8) total toilets, sinks, and showers at the Bath House, Laundry Room, and Workout Room Building.
 - 2) All RV sites shall have water, sewer, and electrical connections. Additionally, all RVs staying at the RV park will be required to have a toilet, shower, and sink.
 - 3) Buildings shall be well-lighted, ventilated, and be constructed of such material to permit rapid and satisfactory cleaning, scouring, and washing.
 - e.) Register of guests. The operator(s) of the park shall be responsible for maintaining a register of guests which encompasses name and address of each guest, in addition to arrival/departure dates, make, model, year, license number, and state of all vehicles.
 - f.) Landscaping requirements.
 - 1) The park shall be landscaped to provide a Type B buffer along all rear and side property lines.
 - 2) A minimum of 2.5% of the total park area shall be landscaped.
 - 3) As the proposed park includes more than 50 sites, appropriate directional signage and clearly labelled site numbers shall be present.



- 3.2) MEASURES OF MITIGATION TO IMPACT ON SURROUNDING PROPERTIES: Multiple measures shall be put in place to mitigate impact of development on surrounding properties.
- i.) The proposed layout is located in an area with geographical features providing a natural ridge and barrier to further prevent noise or light pollution even beyond measures as described in the above "Operation Details" section of this document.
 - ii.) Design shall ensure that peak drainage runoff is equal to or less than pre-developed conditions for up to a 100-year event.
 - iii.) All design decisions shall be made and implemented with an awareness and regard for all neighboring properties, and mitigations to ensure minimal impact shall be put in place.

4. SAFETY AND INFRASTRUCTURE

- 4.1) ROUTE OF INGRESS/EGRESS: The current route of ingress/egress consists of a 36-foot roadway connecting from the RV park to North Danville Drive, a service road running parallel to US Highway 277.
- 4.2) FIRE SAFETY: The proposed design incorporates a fire hydrant connected to a 6-inch water line and located near the Main Entrance Building. Access to fire emergency personnel would be provided via the main entrance located off North Danville Drive.
- 4.3) EMERGENCY ACCESS: Emergency access is provided via the entrance/exit off North Danville Drive. All internal roadways shall be of 30-foot width (excluding main ingress/egress roadway which is 36-feet wide) and with a minimum 25-foot turning radius, allowing emergency vehicles direct access to all sites.
- 4.4) ADA COMPLIANCE: The Main Office Building shall feature one (1) standard accessible parking space, and the Bath House, Laundry Room, and Workout Room shall feature two (2) standard accessible parking spaces. All buildings and related sidewalks will be in accordance with ADA requirements.

ZONING CASE CUP-2026-03 STAFF REPORT



Scheduled Hearings

Planning & Zoning Commission: February 3, 2026
 City Council 1st Read: February 26, 2026
 City Council 2nd Read: March 12, 2026

Applicant

Owner: SPIT LLC
 Agent: Clint Taylor

Case Manager

Clarissa Ivey – Planner

Request

A Conditional Use Permit to allow a Recreational Vehicle Park in Agricultural Open (AO) Zoning.

Location

Located at 3799 N Danville Drive.

Legal description being approximately 239.86 acres, being part of the W.W. Sills Survey No. 23, part of the W.W. Sills Survey No. 24, part of the L. Bowerman Survey No. 84, part of the R. Turner Survey No. 25 and part of the J. Shipman Survey No. 85, Abilene, Taylor County, Texas.

Background

The subject property has remained mostly undeveloped except for a billboard that was erected along N Danville Dr. The applicant is proposing a 147 RV space Recreational Vehicle Park within the Agricultural Open (AO) zoning.

Zoning, Existing and Proposed Land Use

	Zoning	Existing Land Use
North	AO	Vacant
East	AO	Residence
South	HC	Residence/Vacant Lot
West	PD-50	Vacant

Criteria Assessment

Staff has reviewed the request based upon the factors established in Section 1.4.3.5, Criteria for Approval of the Land Development Code. These factors are identified and addressed below:

- 1. The proposed use at the specified location is consistent with the policies embodied in the adopted Comprehensive Plan.**
 The proposed request is consistent with the Comprehensive Plan.
- 2. The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations.**
 The proposed use is consistent with the requirements for recreational vehicle parks in Agricultural Open (AO) zoning
- 3. The proposed use is compatible with and preserves the character and integrity of adjacent developments and neighborhoods and includes improvements either on-site or within the public rights-of-way to mitigate development-related adverse**

impacts, such as traffic, noise, odors, visual nuisances, drainage or other similar adverse effects to adjacent development and neighborhoods.

The proposed use would be appropriate with the surrounding uses. All required improvements and/or adverse impacts will be addressed during the site plan and platting stages.

4. The proposed use does not generate pedestrian and vehicular traffic which will be hazardous or conflict with the existing and anticipated traffic in the neighborhood.

The proposed use will generate additional pedestrian or vehicular traffic, but staff does not believe it will be hazardous or conflicting with the existing traffic for the service road.

5. The proposed use incorporates roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development-generated traffic on neighborhood streets.

Any requirements for roadway and/or traffic adjustments will be addressed during the platting and site plan stages.

6. The proposed use incorporates features to minimize adverse effects, including visual impacts, of the proposed conditional use on adjacent properties.

The proposed use should not generate any adverse effect on adjacent properties. Additionally, a buffer is required along all side and rear property lines.

7. The proposed use meets the standards for the zoning district, or to the extent variations from such standards have been requested, that such variations are necessary to render the use compatible with adjoining development and the neighborhood.

The proposed use is compatible with the surrounding uses at this location.

Planning and Zoning Commission Recommendation

P&Z recommends **approval** of the Conditional Use Permit, subject to the concept plan and plan of operation.

Attachments

- Concept Plan
- Plan of Operation
- PowerPoint Presentation
- Metes & Bounds

Notification

Pursuant to Section 1.2.2.2 of the Land Development Code, City staff mailed personal notices on January 16, 2026, via standard mail to the owners of property within a 200-foot radius of the subject street right of way. The property owners and associated parcel identification numbers are identified below:

PROPERTY OWNER		Legend: O - Opposed, F - In Favor	
PROPERTY OWNER	PROPERTY ID	SITUS	RESPONSE
BOLTON COMMERCIAL PROPERTY LLC	15616	3518 OLD ANSON RD	
CROWNOVER DICK R	47363		
CROWNOVER DICK R	19648		
CROWNOVER DICK R	20322	4050 OLD ANSON RD	

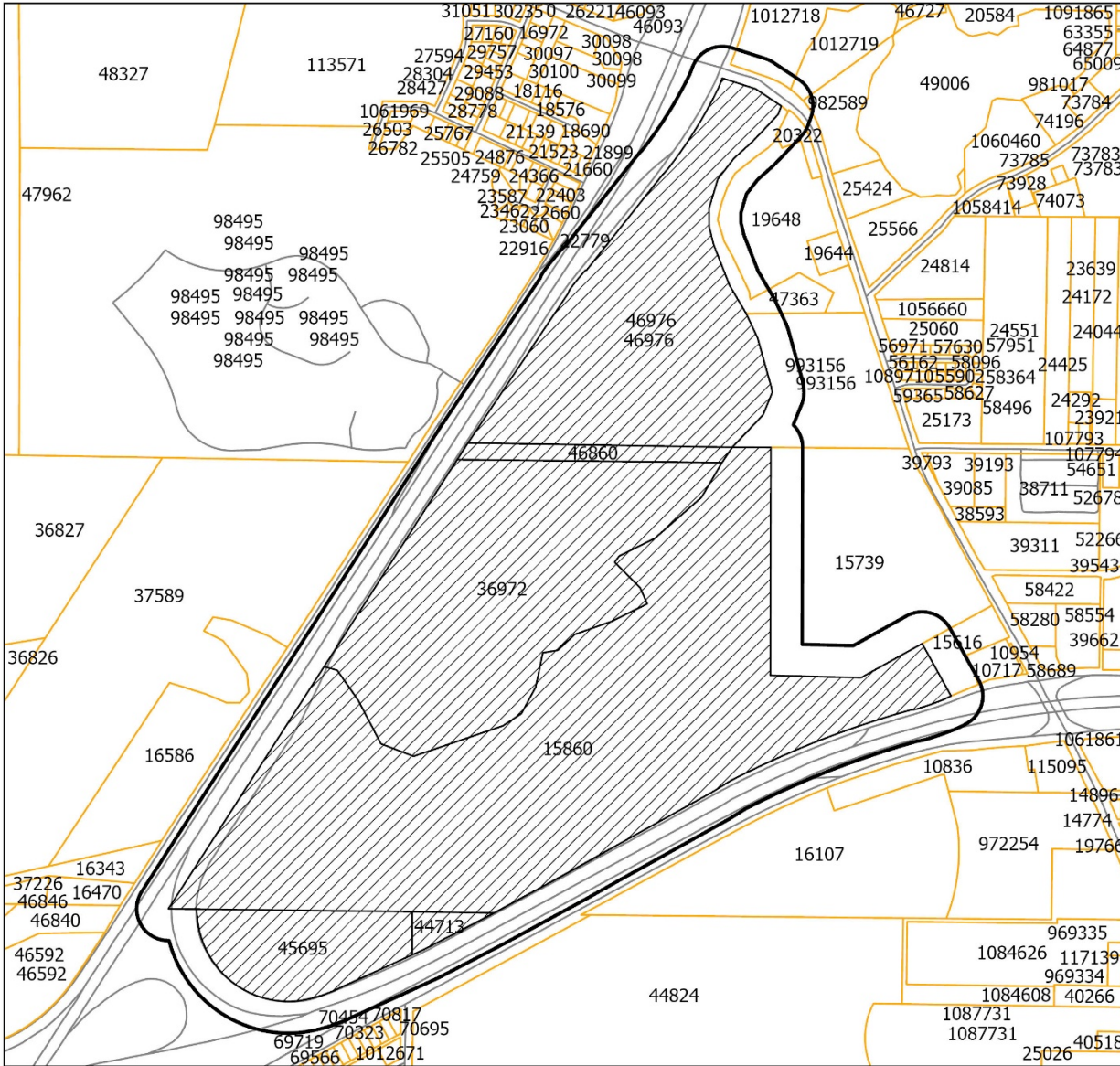
DEAVER DAVID C & PAMELA B	982589		
DEAVER DAVID C & PAMELA B	1012719		
DEAVER DAVID C & PAMELA B	1012718		
FRAZIER JOE & BRENDA	993156	3750 OLD ANSON RD	O
FRAZIER JOE & BRENDA	993156	3706 OLD ANSON RD	O
GAP BROADCASTING ABILENE LLC	15739	3600 OLD ANSON RD	
LU STEPHANIE	10717		
SPIT LLC	46860		F
SPIT LLC	46976	3799 N DANVILLE DR	F
SPIT LLC	46976	3799 X N DANVILLE DR	F
SPIT LLC	15860	3060 W OVERLAND TR	F
SPIT LLC	44713		F
SPIT LLC	36972	3601 N DANVILLE DR	F
SPIT LLC	45695		F

PROPERTY ID

Legend: O - Opposed, F - In Favor

PROPERTY OWNER	PROPERTY ID	SITUS	RESPONSE
LU STEPHANIE	10717		
BOLTON COMMERCIAL PROPERTY LLC	15616	3518 OLD ANSON RD	
GAP BROADCASTING ABILENE LLC	15739	3600 OLD ANSON RD	
SPIT LLC	15860	3060 W OVERLAND TR	F
CROWNOVER DICK R	19648		
CROWNOVER DICK R	20322	4050 OLD ANSON RD	
SPIT LLC	36972	3601 N DANVILLE DR	F
SPIT LLC	44713		F
SPIT LLC	45695		F
SPIT LLC	46860		F
SPIT LLC	46976	3799 N DANVILLE DR	F
SPIT LLC	46976	3799 X N DANVILLE DR	F
CROWNOVER DICK R	47363		
DEAVER DAVID C & PAMELA B	982589		
FRAZIER JOE & BRENDA	993156	3750 OLD ANSON RD	O
FRAZIER JOE & BRENDA	993156	3706 OLD ANSON RD	O
DEAVER DAVID C & PAMELA B	1012718		
DEAVER DAVID C & PAMELA B	1012719		

NOTIFICATION MAP

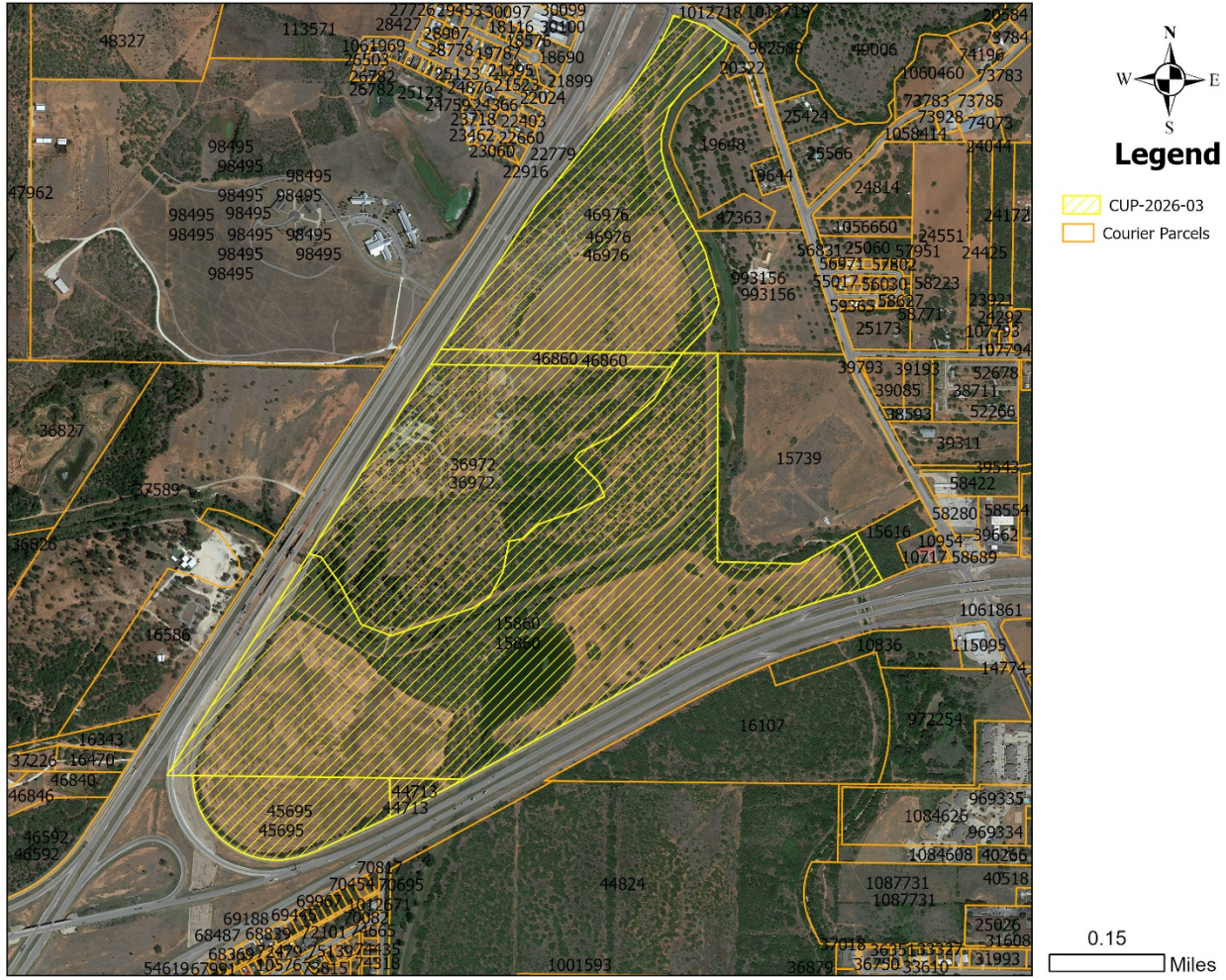


Legend

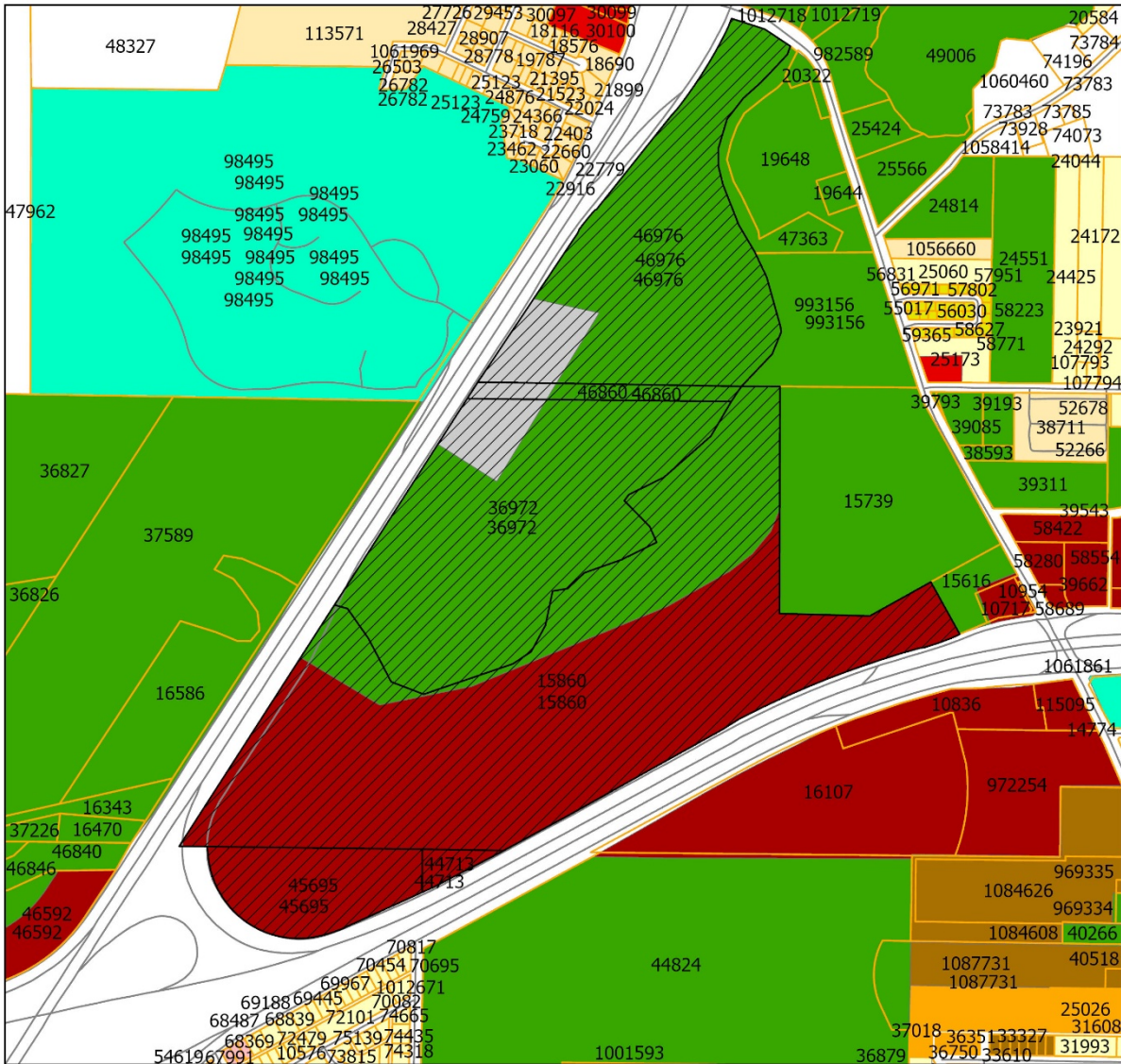
- CUP-2026-03
- Notification Area
- Courier Parcels

0.15 Miles

LOCATION MAP



ZONING MAP



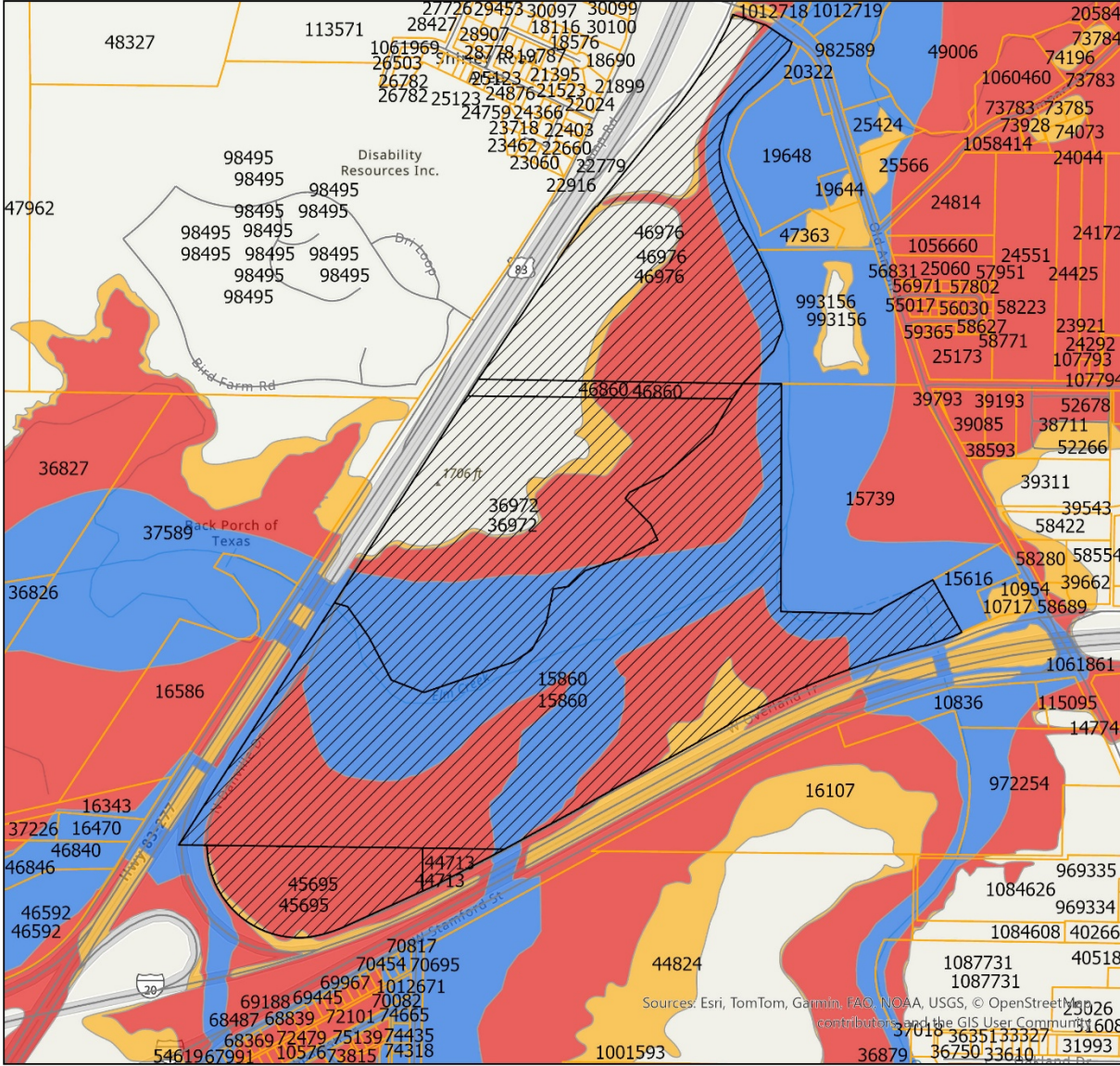
Legend

-  CUP-2026-03
-  Courier Parcels
-  PD (Planned Development)
-  LI (Light Industrial)
-  HC (Heavy Commercial)
-  GC (General Commercial)
-  NR (Neighborhood Retail)
-  MH (Manufacture/Mobile Home)
-  MD (Residential - Medium Density)
-  MF (Residential - Multi-family)
-  PH (Residential - Patio Home)
-  RS (Residential - Single Family)
-  AO (Agricultural Open)

0.15

Miles

FLOOD MAP



- Legend**
- CUP-2026-03
 - Courier Parcels
- FEMA Flood Zones**
- | | |
|------------------|--------------|
| Floodway | Floodway |
| 100 Year 1% | 100 Year 1% |
| 100 Year 1% | 100 Year 1% |
| 500 Year .2% | 500 Year .2% |
| Unstudied A Zone | Unstudied A |

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

CONCEPT PLAN



GENERAL NOTES:

1. OVERALL AERIAL MAP CREATED FROM UNMANNED AERIAL SYSTEM (UAS) ON OCTOBER 30, 2025.



CONCEPTUAL RV PARK PROPOSED OVERALL SITE MAP

THIS SHEET INTENDED TO BE IN COLOR

NO.	REVISION	DATE
1	DRAFT CONCEPTUAL LAYOUT GRAPHICS	11/18/2025
2	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/22/2025
3	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/31/2025
4	DRAFT CONCEPTUAL LAYOUT GRAPHICS	01/07/2026

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY UNDER THE AUTHORITY OF CLINT J. TAYLOR, TEXAS P.E. 162268 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING PURPOSES.

TAYLOR ENGINEERING
 TAYLOR ENGINEERING
 INFO@TAYLOR-ENGINEERING.NET
 FIRM REG. NO. 24650
 713-466-5332

DESIGNED BY:
 CLINT J. TAYLOR, P.E.
 162268
 200 TAYLOR DR

DATE:
 01/07/2026

SCALE:
 1" = 500'

**SPIT LLC
 NORTHWEST ABILENE
 LUXURY RV PARK**

**CONCEPTUAL RV PARK
 PROPOSED OVERALL SITE MAP**

**PROJECT NO.
 2513**

**SHEET NO.
 C-4**

**SEQUENCE NO.
 4 OF 4**



PLAN OF OPERATIONS – REVISION 1

Northwest Abilene RV Park (Project No. 2513)

1. PROJECT DESCRIPTION

1.1) PROPERTY ADDRESS: 3799 North Danville Drive, Abilene, TX 79601

- i.) Note: Platting for the area of proposed improvements is being sought concurrently with the application for a Conditional Use Permit. As such, the address may undergo a change over the course of the project.

1.2) OWNER AND REPRESENTATIVE AGENT INFORMATION:

- i.) OWNER NAME: SPIT LLC
- ii.) OWNER POINT OF CONTACT: Matt Smith
- iii.) REPRESENTATIVE AGENT NAME: Clint Taylor, P.E.
- iv.) REPRESENTATIVE AGENT ROLE: Engineer
- v.) REPRESENTATIVE AGENT CONTACT:
 - a.) Email: [REDACTED]
 - b.) Phone: [REDACTED]

1.3) CURRENT ZONING OF PROPOSED PROJECT AREA: Agricultural Open (AO)

1.4) SURROUNDING LAND USE: Agricultural Open (AO), Light Industrial (LI), Heavy Commercial (HC), Mobile Home (MH), General Commercial (GC), Highway/Roadway

1.5) PROPOSED USE: The proposed use of this property is for development into a Recreational Vehicle (RV) park. The RV park would be designed to accommodate long-term and short-term occupants, incorporate bath house, laundry, and workout facilities, and include park and recreational areas.

1.6) EXECUTIVE SUMMARY: The proposed project seeks to develop an RV park in the Northwest Abilene area near the intersection of US Highway 277 and Interstate-20. Located near the new Stargate data center, the park is ideally located to provide a flexible option for employees, as well as to provide a family-friendly destination near all the attractions Abilene has to offer. The proposed park would feature 147 total RV sites ranging from 55-foot to 85-foot in length and include both back-in and pull-through sites to allow guests to select the most optimal option for their preference and vehicle(s). All sites will include water, sewer, and electrical connections. The park and its amenities are designed with long-term and short-term guest stays in mind, featuring bath house, laundry, and workout facilities, landscaped areas, and parks and recreational areas to provide an enhanced guest experience.

2. OPERATIONAL DETAILS

2.1) HOURS OF OPERATION: The hours of operation of the Main Entrance Building are expected to be 8 AM to 5 PM, seven days a week. The RV sites themselves shall always be in operation, seven days a week.

2.2) NUMBER OF EMPLOYEES/OCCUPANTS:

- i.) The site is expected to operate with two (2) employees per day.
- ii.) The proposed design features a total of 147 sites. Assuming an average of two and a half (2.5) people per site, the maximum expected occupancy from park sites would be 368 people.



2.3) EXPECTED TRAFFIC: The typical length of short-term stay at a resort RV park is assumed to be approximately six (6) nights, while the typical length of a long-term stay at an RV park is assumed to be approximately three (3) months. Treating 75% (110 sites) of RV sites as designated long-term sites and 25% (37 sites) as designated short-term sites (per Land Development Code Section 4.2.11.4d), and assuming a maximum occupancy of 100%, this results in an expected guest turnover of fifty-two (52) arrivals and fifty-two (52) departures per week. Additionally, standard traffic from daily guest activities such as commuting to work, grocery shopping, or social outings is expected.

2.4) PARKING ARRANGEMENTS:

- i.) RV site parking arrangements. Each RV site is equipped with two (2) spaces to park a standard car as well as one (1) space to park an RV. The sizes of RV parking sites vary in size, type, and quantity as follows:
 - a.) 85-foot pull-through RV parking space, 15 total quantity (10.2% of total sites)
 - b.) 65-foot pull-through RV parking space, 59 total quantity (40.1% of total sites)
 - c.) 55-foot back-in RV parking space, 73 total quantity (49.7% of total sites)
- ii.) Main Entrance Building and Bath House, Laundry Room, and Workout Room parking arrangements. The proposed design features a total of fifteen (15) vehicle parking spaces at the Main Entrance Building, as well as twenty (20) vehicle parking spaces at the Bath House, Laundry Room, and Workout Room.

2.5) DELIVERIES/LOADING ACTIVITIES: Standard mail delivery is expected to be directed to the Main Entrance Building. Some minimal loading/unloading activities are possible for amenities such as vending machines or a small concessions store. However, no large-scale loading activities are anticipated, and the proposed design does not feature any sites, such as loading docks, intended for large-scale loading or unloading activities.

2.6) NOISE AND LIGHTING CONSIDERATIONS:

- i.) Noise considerations. Quiet hours shall be in effect from 10 PM to 8 AM daily. Guests shall be provided with rules regarding quiet hours and acceptable noise at the commencement of stay.
- ii.) Lighting considerations. Street lighting throughout the park shall consist of fully solar-powered streetlights. All streetlights shall be downward facing to minimize light pollution in the area. A courteous lighting policy shall be observed from 10 PM to 8 AM daily, with RV external lighting being dimmed or turned off. Guests shall be provided with rules regarding quiet hours and acceptable lighting at the commencement of stay.

3. COMPLIANCE AND COMPATIBILITY

3.1) LAND DEVELOPMENT CODE REQUIREMENTS:

- i.) Size, density, location, setbacks.
 - a.) Maximum site density. The park as currently proposed conforms to the requirement of no more than 10 units per acre.
 - b.) Minimum site size. The proposed area of improvements is greater than the minimum of 5 acres.
 - c.) Site location. The proposed site layout ensures the park maintains a minimum 300-foot distance between itself and any residentially zoned nearby areas, except Agricultural Open (AO) zoned areas.
 - d.) Size, marking and separation of individual sites.
 - 1) Each individual site within the proposed park includes space for one (1) recreational vehicle as well as two (2) individual vehicles, and an area of adequate space to fit a picnic table/grill.
 - 2) Sites shall be clearly marked at each corner, and shall be level, paved, and well drained.
 - 3) Each proposed site is spaced adequately to allow each travel trailer or recreational vehicle to maintain a minimum of 15-feet between itself and the next nearest travel trailer or permanent building.



- 4) The park layout is designed to ensure all minimum setback distances for travel trailers as outlined in Table 4-4 of the Land Development Code Section 4.2.11.2e are maintained.
- ii.) Ingress/egress.
 - a.) Public street. The park entrance/exit is directly linked to North Danville Drive, a service road running parallel to US Highway 277.
 - b.) Width and radius. The proposed ingress/egress roadway has a width of 36-feet and maintains a 25-foot curb radius.
 - c.) Paving. All roadways within the proposed park, to include ingress/egress roadway along with all interior roads, shall be hot mix roadway or concrete, while RV sites shall be concrete pavement, meeting paving requirements for all surfaces intended for vehicular use and parking.
 - d.) No access through residential zoning districts. The proposed design does not include any entrances or exits through a residential zoning district.
 - iii.) Miscellaneous requirements.
 - a.) Refuse containers or areas. The RV park shall ensure that adequate and conveniently located area(s) of refuse collection are provided for all guests in watertight and rodent-proof containers.
 - b.) Accessory uses. All proposed accessory use buildings are located greater than 50-feet from the nearest public street. The design shall ensure the sum total area occupied by these buildings is less than 10% of the total area.
 - c.) Duration of stay. To ensure compliance, up to 110 (75%) of the sites shall be designated as long-term (up to 12 months of stay with 60-day minimum interim before return), while a minimum of 37 (25%) of the sites shall be designated as short-term (up to 3-month stay with 60-day minimum interim before return).
 - d.) Sanitary facilities.
 - 1) The proposed Bath House design features four (4) total toilets, sinks, and showers for each sex, resulting in eight (8) total toilets, sinks, and showers at the Bath House, Laundry Room, and Workout Room Building.
 - 2) All RV sites shall have water, sewer, and electrical connections. Additionally, all RVs staying at the RV park will be required to have a toilet, shower, and sink.
 - 3) Buildings shall be well-lighted, ventilated, and be constructed of such material to permit rapid and satisfactory cleaning, scouring, and washing.
 - e.) Register of guests. The operator(s) of the park shall be responsible for maintaining a register of guests which encompasses name and address of each guest, in addition to arrival/departure dates, make, model, year, license number, and state of all vehicles.
 - f.) Landscaping requirements.
 - 1) The park shall be landscaped to provide a Type B buffer along all rear and side property lines.
 - 2) A minimum of 2.5% of the total park area shall be landscaped.
 - 3) As the proposed park includes more than 50 sites, appropriate directional signage and clearly labelled site numbers shall be present.



- 3.2) MEASURES OF MITIGATION TO IMPACT ON SURROUNDING PROPERTIES: Multiple measures shall be put in place to mitigate impact of development on surrounding properties.
- i.) The proposed layout is located in an area with geographical features providing a natural ridge and barrier to further prevent noise or light pollution even beyond measures as described in the above "Operation Details" section of this document.
 - ii.) Design shall ensure that peak drainage runoff is equal to or less than pre-developed conditions for up to a 100-year event.
 - iii.) All design decisions shall be made and implemented with an awareness and regard for all neighboring properties, and mitigations to ensure minimal impact shall be put in place.

4. SAFETY AND INFRASTRUCTURE

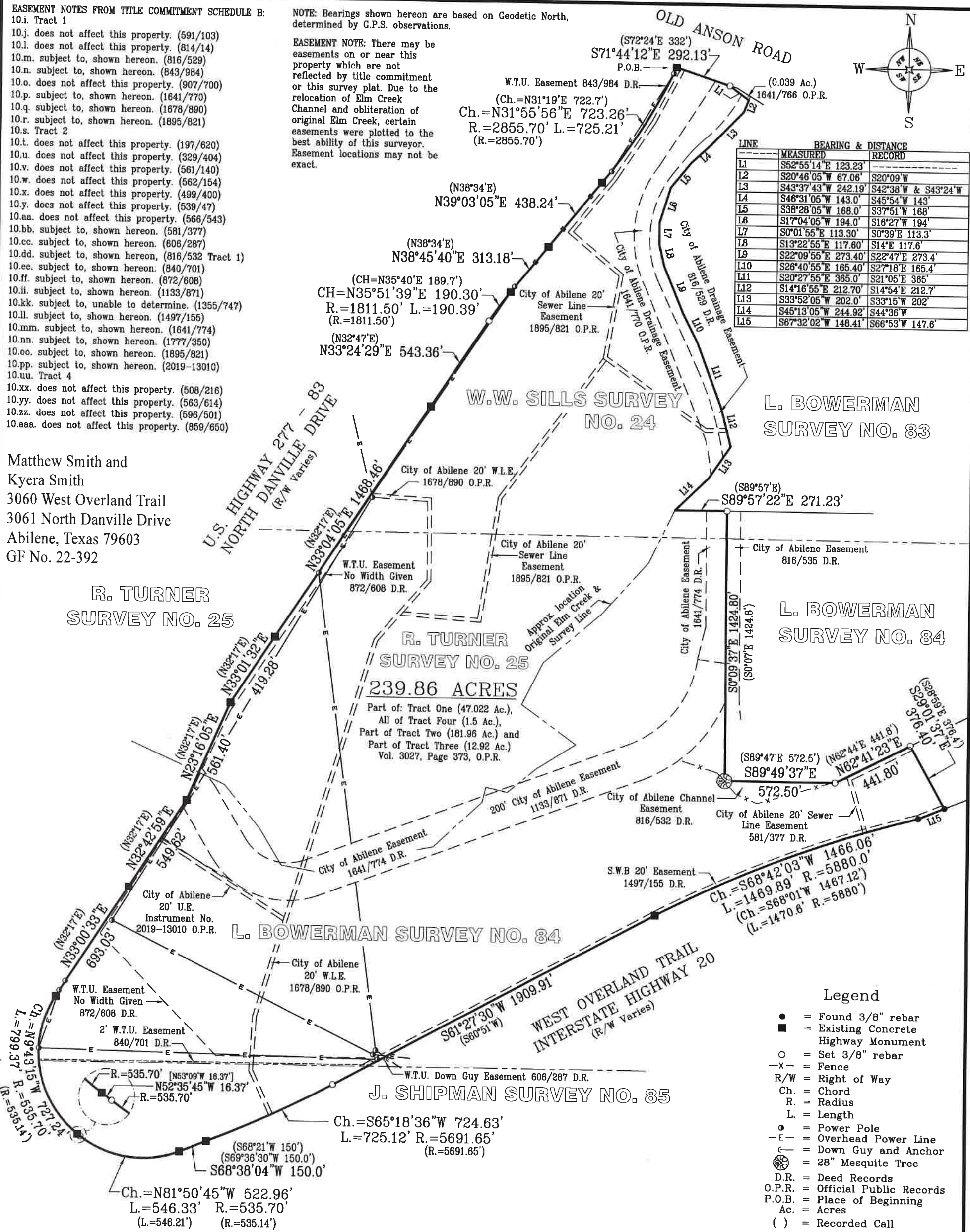
- 4.1) ROUTE OF INGRESS/EGRESS: The current route of ingress/egress consists of a 36-foot roadway connecting from the RV park to North Danville Drive, a service road running parallel to US Highway 277.
- 4.2) FIRE SAFETY: The proposed design incorporates a fire hydrant connected to a 6-inch water line and located near the Main Entrance Building. Access to fire emergency personnel would be provided via the main entrance located off North Danville Drive.
- 4.3) EMERGENCY ACCESS: Emergency access is provided via the entrance/exit off North Danville Drive. All internal roadways shall be of 30-foot width (excluding main ingress/egress roadway which is 36-feet wide) and with a minimum 25-foot turning radius, allowing emergency vehicles direct access to all sites.
- 4.4) ADA COMPLIANCE: The Main Office Building shall feature one (1) standard accessible parking space, and the Bath House, Laundry Room, and Workout Room shall feature two (2) standard accessible parking spaces. All buildings and related sidewalks will be in accordance with ADA requirements.

EASEMENT NOTES FROM TITLE COMMITMENT SCHEDULE B:

- 10.i. Tract 1
- 10.j. does not affect this property. (591/103)
- 10.l. does not affect this property. (814/14)
- 10.m. subject to, shown hereon. (816/529)
- 10.n. subject to, shown hereon. (843/984)
- 10.o. does not affect this property. (907/700)
- 10.p. subject to, shown hereon. (1641/770)
- 10.q. subject to, shown hereon. (1678/890)
- 10.r. subject to, shown hereon. (1895/821)
- 10.s. Tract 2
- 10.t. does not affect this property. (197/620)
- 10.u. does not affect this property. (329/404)
- 10.v. does not affect this property. (561/140)
- 10.w. does not affect this property. (562/154)
- 10.x. does not affect this property. (499/400)
- 10.y. does not affect this property. (539/47)
- 10.aa. does not affect this property. (566/543)
- 10.bb. subject to, shown hereon. (581/377)
- 10.cc. subject to, shown hereon. (606/287)
- 10.dd. subject to, shown hereon. (816/532 Tract 1)
- 10.ee. subject to, shown hereon. (840/701)
- 10.ff. subject to, shown hereon. (872/608)
- 10.ii. subject to, shown hereon. (1133/871)
- 10.kk. subject to, unable to determine. (1355/747)
- 10.ll. subject to, shown hereon. (1497/155)
- 10.mm. subject to, shown hereon. (1641/774)
- 10.nn. subject to, shown hereon. (1777/350)
- 10.oo. subject to, shown hereon. (1895/821)
- 10.pp. subject to, shown hereon. (2019-13010)
- 10.uu. Tract 4
- 10.xx. does not affect this property. (508/216)
- 10.yy. does not affect this property. (563/614)
- 10.zz. does not affect this property. (596/501)
- 10.aaa. does not affect this property. (859/650)

NOTE: Bearings shown hereon are based on Geodetic North, determined by G.P.S. observations.

EASEMENT NOTE: There may be easements on or near this property which are not reflected by title commitment or this survey plat. Due to the relocation of Elm Creek Channel and obliteration of original Elm Creek, certain easements were plotted to the best ability of this surveyor. Easement locations may not be exact.



Matthew Smith and
Kyera Smith
3060 West Overland Trail
3061 North Danville Drive
Abilene, Texas 79603
GF No. 22-392

R. TURNER
SURVEY NO. 25

R. TURNER
SURVEY NO. 25
239.86 ACRES
Part of: Tract One (47.022 Ac.),
All of Tract Four (1.5 Ac.),
Part of Tract Two (181.96 Ac.) and
Part of Tract Three (12.92 Ac.)
Vol. 3027, Page 373, O.P.R.

L. BOWERMAN
SURVEY NO. 83

L. BOWERMAN
SURVEY NO. 84

J. SHIPMAN SURVEY NO. 85

L. BOWERMAN SURVEY NO. 84

Legend

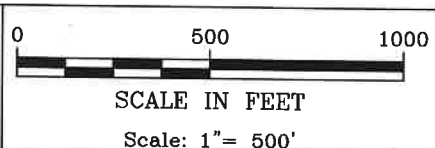
- = Found 3/8" rebar
- = Existing Concrete Highway Monument
- = Set 3/8" rebar
- x- = Fence
- R/W = Right of Way
- Ch. = Chord
- R. = Radius
- L. = Length
- = Power Pole
- E- = Overhead Power Line
- C- = Down Guy and Anchor
- ⊗ = 28" Mesquite Tree
- D.R. = Deed Records
- O.P.R. = Official Public Records
- P.O.B. = Place of Beginning
- Ac. = Acres
- () = Recorded Call
- W.T.U. = West Texas Utilities Company
- W.L.E. = Water Line Easement
- U.E. = Utility Easement

I hereby certify to Matthew Smith, Kyera Smith and True Title Company, the above to be a correct plat of 239.86 acres of land, being part of the W.W. Sills Survey No. 23, part of the W.W. Sills Survey No. 24, part of the L. Bowerman Survey No. 84, part of the R. Turner Survey No. 25 and part of the J. Shipman Survey No. 85, Taylor County, Texas, said 239.86 acres being part of a called 47.022 acre tract designated Tract One, part of a called 181.96 acre tract designated Tract Two, part of a called 12.92 acre tract designated Tract Three and all of a called 1.5 acre tract designated Tract Four, all described in a deed to Joseph Hantman, of record in Volume 3027, Page 373, Official Public Records, Taylor County, Texas (O.P.R.T.C.T.) and being more particularly described as follows:
Surveyed on the ground June 30, 2022.

There are no visible or apparent protrusions or overlapping of improvements upon or off this property other than shown. (Fences are not entirely upon property lines.)

GEOTEX PROPERTY SOLUTIONS
209 S. Pioneer Drive, Suite 2
Abilene, Texas 79605
325-677-6712
Firm Registration No. 10194134

File No: 122-23-22
File Name: 3060 West Overland Trail
Location: D:\ATaylor\2022\
Geotex Property Solutions Drawn by:
© 2022 All Rights Reserved RL



Rex D. Haas
RPLS #4378

FIELD NOTES
239.86 ACRES

BEING 239.86 acres of land, being part of the W.W. Sills Survey No. 23, part of the W.W. Sills Survey No. 24, part of the L. Bowerman Survey No. 84, part of the R. Turner Survey No. 25 and part of the J. Shipman Survey No. 85, Taylor County, Texas, said 239.86 acres being part of a called 47.022 acre tract designated Tract One, part of a called 181.96 acre tract designated Tract Two, part of a called 12.92 acre tract designated Tract Three and all of a called 1.5 acre tract designated Tract Four, all described in a deed to Joseph Hantman, of record in Volume 3027, Page 373, Official Public Records, Taylor County, Texas (O.P.R.T.C.T.) and being more particularly described as follows:

BEGINNING at a recovered concrete highway monument at the intersection of the east right-of-way line of North Danville Drive (U.S. Highway 277-83) with the south line of Old Anson Road at the northwest corner of said 47.022 acre Tract One, for the northwest corner of this tract;

THENCE S71°44'12"E 293.13 feet, with the north line of said 47.022 acre Tract One and the south line of said Old Anson Road, to a 3/8" rebar set at the west corner of a called 0.039 acre tract conveyed to City of Abilene, of record in Volume 1641, Page 766, O.P.R.T.C.T., for an angle corner of this tract;

THENCE S52°55'14"E 123.23 feet, with the south line of said 0.039 acre tract, to a point in the approximate centerline of the new Elm Creek Channel and being on the east line of said 47.022 acre Tract One and the west line of a called 16.63 acre tract designated Tract #2, of record in Document No. 2013-11065, O.P.R.T.C.T., for the most northerly northeast corner of this tract;

THENCE in a southerly direction with the approximate centerline of the new Elm Creek Channel, the east line of said 47.022 acre Tract One and the approximate west line of said 16.63 acre tract, the following thirteen (13) calls:

1. S20°46'05"W 67.06 feet, to a point for angle corner of this tract;
2. S43°37'43"W 242.19 feet, to a point for angle corner of this tract;
3. S46°31'05"W 143.00 feet, to a point for angle corner of this tract;
4. S38°28'05"W 168.00 feet, to a point for angle corner of this tract;
5. S17°04'05"W 194.00 feet, to a point for angle corner of this tract;
6. S00°01'55"E 113.30 feet, to a point for angle corner of this tract;
7. S13°22'55"E 117.60 feet, to a point for angle corner of this tract;
8. S22°09'55"E 273.40 feet, to a point for angle corner of this tract;
9. S26°40'55"E 165.40 feet, to a point for angle corner of this tract;
10. S20°27'55"E 365.00 feet, to a point for angle corner of this tract;
11. S14°16'55"E 212.70 feet, to a point at the intersection of the new creek channel with the old creek channel on the east line of said Survey No. 24, for angle corner of this tract;
12. S33°52'05"W 202.00 feet, to a point for angle corner of this tract;
13. S45°13'05"W 244.92 feet, to a point at the southwest corner of said 16.63 acre tract, for an interior corner of this tract;

THENCE S89°57'22"E 271.23 feet, with the south line of said 16.63 acre tract, to a 3/8" rebar set at the northeast corner of said 181.96 acre Tract Two and the northwest corner of Frazier Addition, of record in Cabinet 4, Slide 109, Plat Records, Taylor County, Texas, for the mid-northeast corner of this tract;

THENCE S00°09'37"E 1424.80 feet, with the east line of said 181.96 acre Tract Two and the west line of said Frazier Addition, to a 28" mesquite tree at an interior corner of said 181.96 acre Tract Two, for an interior corner of this tract;

THENCE in an easterly direction with the southerly north of said 181.96 acre Tract Two and the south line of said Frazier Addition, the following two (2) calls:

1. S89°49'37"E 572.50 feet, to a 3/8" rebar set for angle corner of this tract;
2. N62°41'23"E 441.80 feet, to a 3/8" rebar set for the most southerly northeast corner of this tract;

THENCE S29°01'37"E 376.40 feet, with the most easterly line of said 181.96 acre Tract Two, to a recovered 3/8" rebar on the northwest right-of-way line of West Overland Trail (Interstate Highway 20) at the extreme southeast corner of said 181.96 acre Tract Two, for the southeast corner of this tract;

THENCE in a southwesterly direction with the northwest right-of-way line of West Overland Trail, the southeasterly line of said 181.96 acre Tract Two, the southeasterly line of said 12.92 acre Tract Three and the southeasterly line of said 1.5 acre tract Four, the following eight (8) calls:

1. S67°32'02"W 148.41 feet, to a recovered 3/8" rebar at the beginning of a non-tangent curve to the left, for a corner of this tract;
2. Along said curve having a radius of 5880.00 feet, an arc length of 1469.89 feet and a long chord bearing S68°42'03"W 1466.06 feet, to a recovered concrete highway monument at the end of said curve, for a corner of this tract;
3. S61°27'30"W 1909.91 feet, to a 3/8" rebar set at the beginning of a curve to the right, for a corner of this tract;
4. Along said curve having a radius of 5691.65 feet, an arc length of 725.12 feet and a long chord bearing S65°18'36"W 724.63 feet, to a recovered concrete highway monument at the end of said curve, for a corner of this tract;
5. S68°38'04"W 150.00 feet, to a recovered concrete highway monument at the beginning of a curve to the right, for a corner of this tract;
6. Along said curve having a radius of 535.70 feet, an arc length of 546.33 feet and a long chord bearing N81°50'45"W 522.96 feet, to a 3/8" rebar set at the end of said curve, for a corner of this tract;
7. N52°35'45"W 16.37 feet, to a recovered concrete highway monument at the beginning of a curve to the right, for a corner of this tract;
8. Along said curve having a radius of 535.70 feet, an arc length of 799.37 feet and a long chord bearing N09°43'15"W 727.24 feet, to a recovered concrete highway monument at the end of said curve, being on the southeast right-of-way line of said North Danville Drive, for a corner of this tract;

THENCE in a northeasterly direction with the southeast right-of-way line of said North Danville Drive, the northwesterly of said 181.96 acre Tract Two and the northwesterly line of said 47.022 acre Tract One, the following ten (10) calls:

1. N33°00'33"E 693.03 feet, to a recovered concrete right-of-way monument, for a corner of this tract;
2. N32°42'59"E 549.62 feet, to a recovered concrete highway monument, for a corner of this tract;
3. N23°16'05"E 561.40 feet, to a recovered concrete highway monument, for a corner of this tract;
4. N33°01'32"E 419.28 feet, to a recovered concrete highway monument, for a corner of this tract;
5. N33°04'05"E 1468.46 feet, to a recovered concrete highway monument, for a corner of this tract;
6. N33°24'29"W 543.36 feet, to a 3/8" rebar set at the beginning of a curve to the right, for a corner of this tract;
7. Along said curve having a radius of 1811.50 feet, an arc length of 190.39 feet and a long chord bearing N35°51'39"E 190.30 feet, to a recovered concrete highway monument at the end of said curve, for a corner of this tract;
8. N38°45'40"E 313.18 feet, to a recovered concrete highway monument, for a corner of this tract;
9. N39°03'05"E 438.24 feet, to a recovered concrete highway monument at the beginning of a curve to the left, for a corner of this tract;
10. Along said curve having a radius of 2855.70 feet, an arc length of 725.21 feet and a long chord bearing N31°55'56"E 723.26 feet, to the place of beginning and containing 239.86 acre of land.

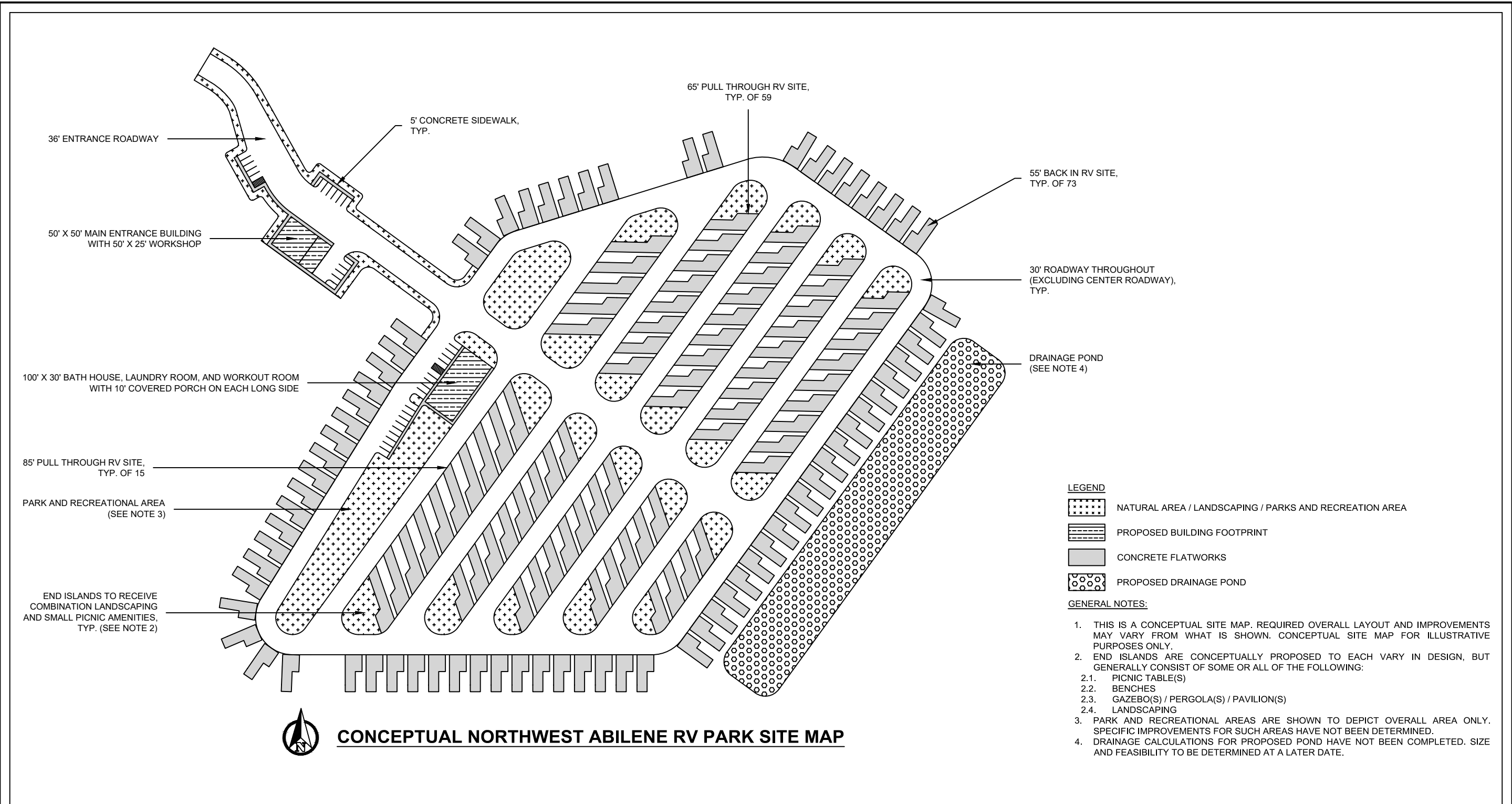
Surveyed on the ground June 30, 2022.

SEE ACCOMPANYING PLAT

Geotex Property Solutions
 209 S. Pioneer Drive, Suite 2
 Abilene, Texas 79605
 (325) 677-6712
 File # 122-23-22-239.86ac.
 Firm Registration No. 10194134


 Rex D. Haas
 R. P. L. S. #4378





NO.	REVISION	DATE
1	DRAFT CONCEPTUAL LAYOUT GRAPHICS	11/18/2025
2	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/22/2025
3	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/31/2025
4	DRAFT CONCEPTUAL LAYOUT GRAPHICS	01/07/2026

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY UNDER THE AUTHORITY OF CLINT J. TAYLOR, TEXAS P.E. 142258 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING PURPOSES.



TAYLOR ENGINEERING
 INFO@TAYLOR-ENGINEERING.NET
 FIRM REG. NO. 24830
 713-449-8332

DESIGNED BY:
 CLINT J. TAYLOR, P.E.
 AIDYN TURK
 JIM TAYLOR

DATE:
 01/07/2026

SCALE:
 1" = 150'

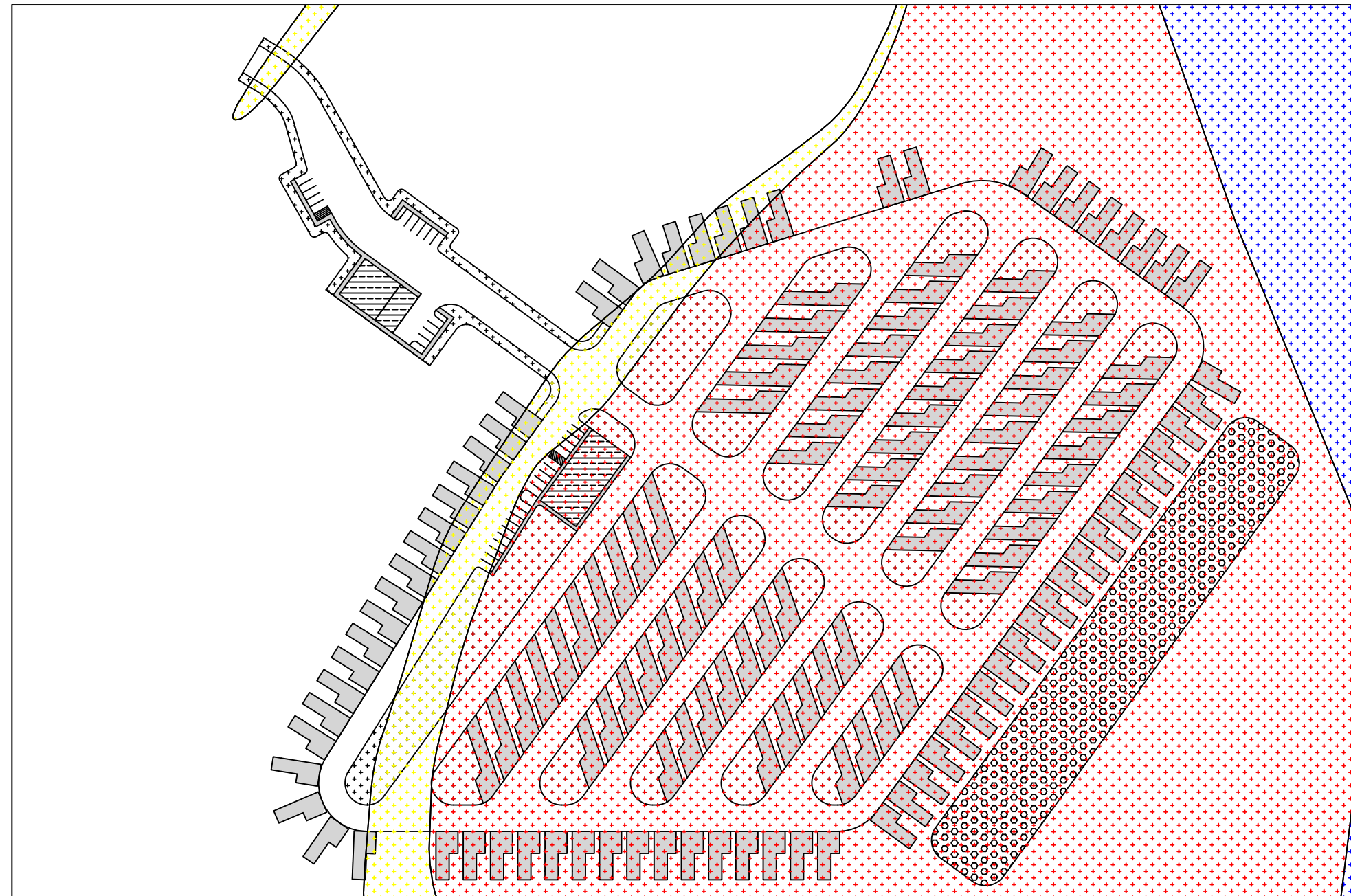
SPIT LLC
 NORTHWEST ABILENE
 LUXURY RV PARK

CONCEPTUAL NORTHWEST
 ABILENE RV PARK SITE MAP




PROJECT NO.
 2513

SHEET NO.
 C-1

SEQUENCE NO.
 1 OF 4



LEGEND

-  ESTIMATED FLOODWAY
-  ESTIMATED ZONE AE (100 YEAR)
-  ESTIMATED ZONE X (500 YEAR)

GENERAL NOTES:

1. ESTIMATED FLOODWAY, ZONE AE (100 YEAR), AND ZONE X (500 YEAR) DATA FROM FEMA'S NATIONAL FLOOD HAZARD LAYER (NFHL) VIEWER DOWNLOADED ON 11/18/2025.



CONCEPTUAL RV PARK ESTIMATED FLOODWAY, ZONE AE, AND ZONE X

THIS SHEET INTENDED TO BE IN COLOR

NO.	REVISION	DATE
1	DRAFT CONCEPTUAL LAYOUT GRAPHICS	11/18/2025
2	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/22/2025
3	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/31/2025
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TAYLOR ENGINEERING
 INFO@TAYLOR-ENGINEERING.NET
 FIRM REG. NO. 24830
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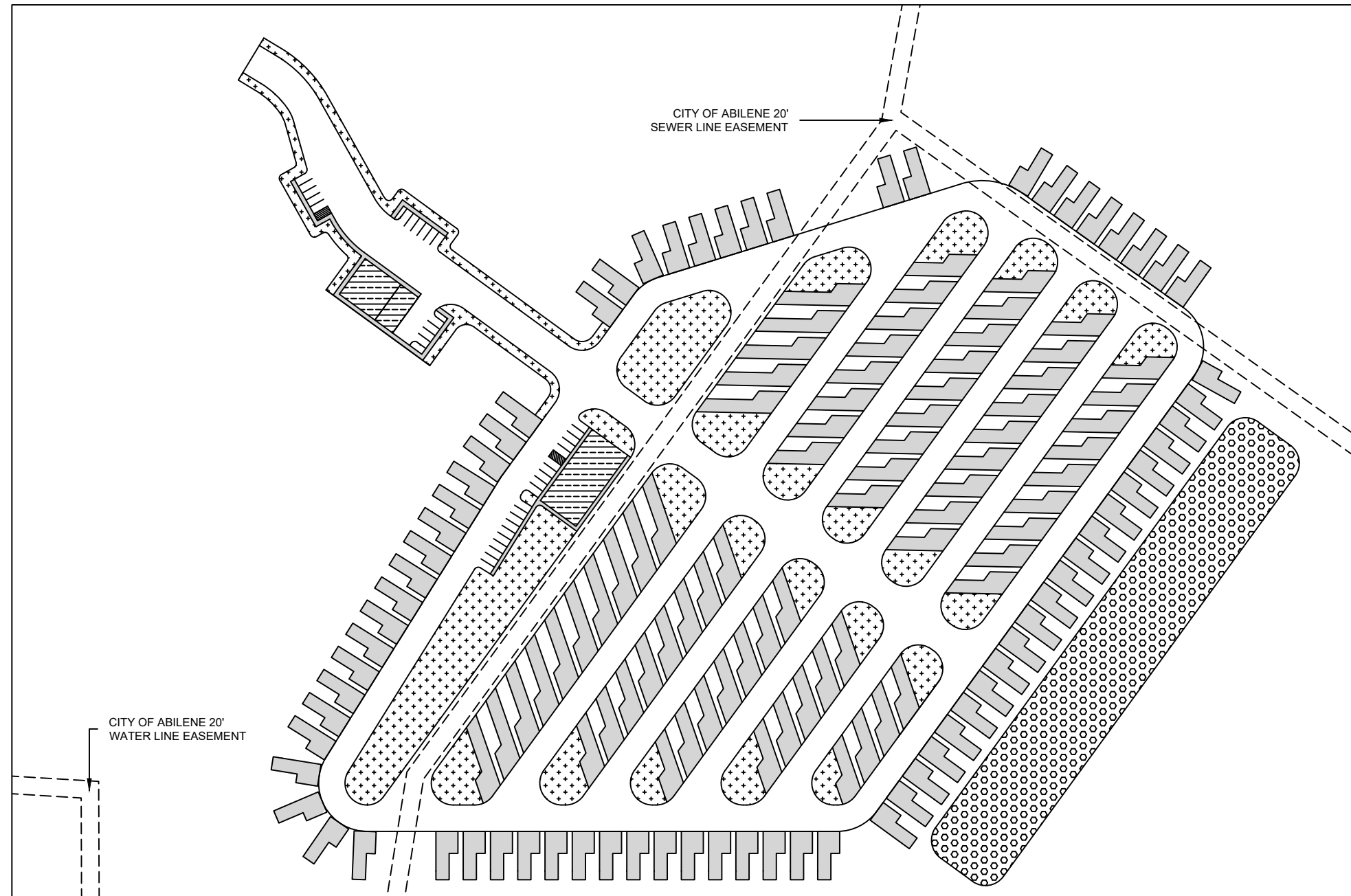
DESIGNED BY:
 CLINT J. TAYLOR, P.E.
 AIDYN TURK
 JIM TAYLOR

DATE:
 01/07/2026

SCALE:
 1" = 150'

SPIT LLC
 NORTHWEST ABILENE
 LUXURY RV PARK
**CONCEPTUAL RV PARK
 ESTIMATED FLOODWAY,
 ZONE AE, AND ZONE X**

PROJECT NO.
2513
 SHEET NO.
C-2
 SEQUENCE NO.
2 OF 4



LEGEND

--- EXISTING UTILITY EASEMENTS

GENERAL NOTES:

1. PROPOSED RV PARK LAYOUT IS BASED ON OPTION 2 FOR ILLUSTRATIVE PURPOSES.
2. EASEMENT LOCATIONS OBTAINED FROM GEOTEX PROPERTY SOLUTIONS SURVEY FILE NO. 122-23-22.



CONCEPTUAL RV PARK EXISTING UTILITY EASEMENTS

NO.	REVISION	DATE
1	DRAFT CONCEPTUAL LAYOUT GRAPHICS	11/18/2025
2	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/22/2025
3	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/31/2025
4	DRAFT CONCEPTUAL LAYOUT GRAPHICS	01/07/2026

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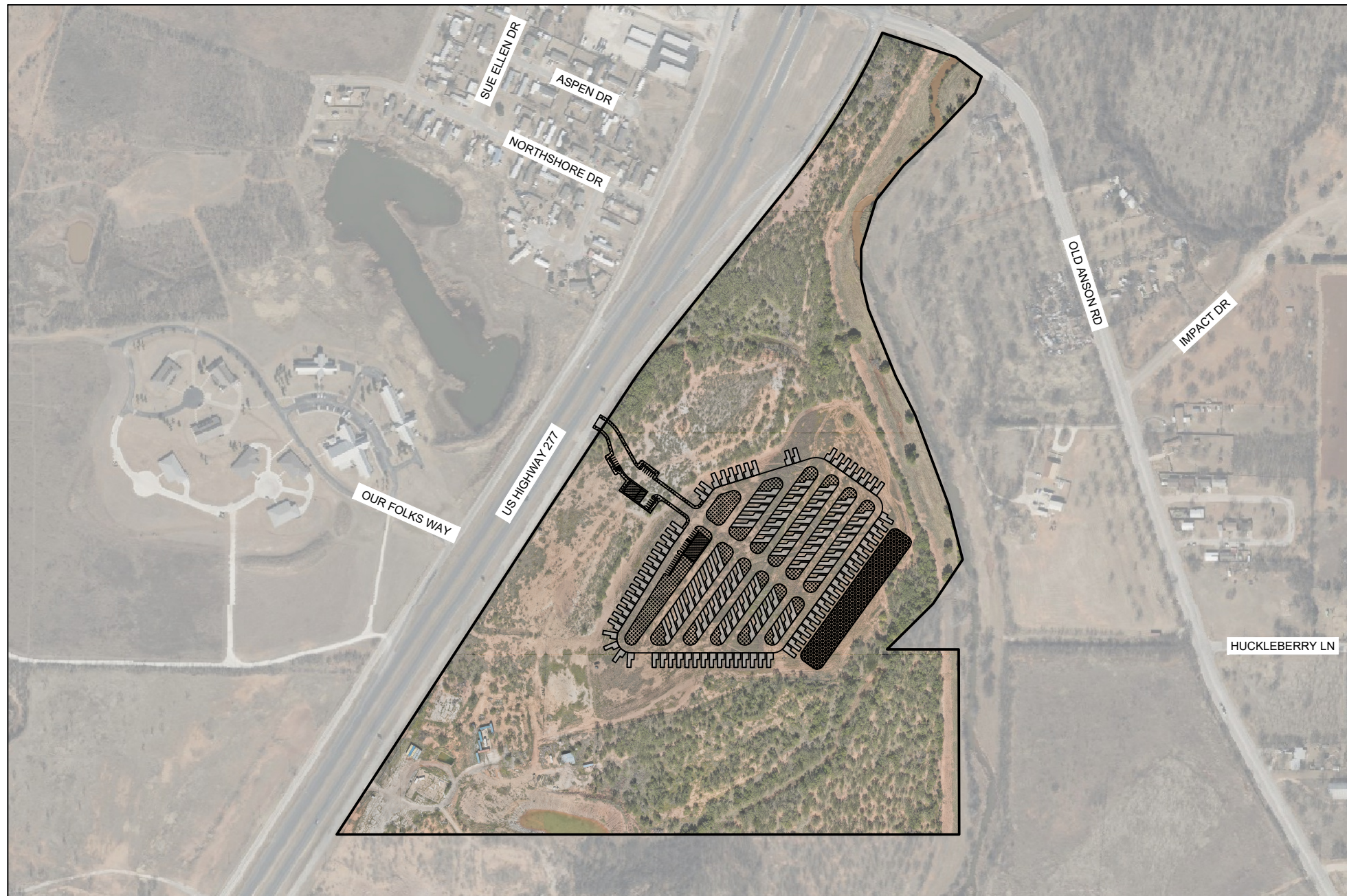
TAYLOR ENGINEERING
 INFO@TAYLOR-ENGINEERING.NET
 FIRM REG. NO. 24830
 713-449-8332

DESIGNED BY: <small>CLINT J. TAYLOR, P.E. AIDYN TURK JIM TAYLOR</small>
DATE: 01/07/2026
SCALE: 1" = 150'

SPIT LLC
NORTHWEST ABILENE
LUXURY RV PARK

CONCEPTUAL RV PARK
EXISTING UTILITY EASEMENTS

PROJECT NO. 2513
SHEET NO. C-3
SEQUENCE NO. 3 OF 4



GENERAL NOTES:

1. OVERALL AERIAL MAP CREATED FROM UNMANNED AERIAL SYSTEM (UAS) ON OCTOBER 30, 2025.



CONCEPTUAL RV PARK PROPOSED OVERALL SITE MAP

THIS SHEET INTENDED TO BE IN COLOR

NO.	REVISION	DATE
1	DRAFT CONCEPTUAL LAYOUT GRAPHICS	11/18/2025
2	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/22/2025
3	DRAFT CONCEPTUAL LAYOUT GRAPHICS	12/31/2025
4	DRAFT CONCEPTUAL LAYOUT GRAPHICS	01/07/2026

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY UNDER THE AUTHORITY OF CLINT J. TAYLOR, TEXAS P.E. 142258 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING PURPOSES.



TAYLOR ENGINEERING
 INFO@TAYLOR-ENGINEERING.NET
 FIRM REG. NO. 24830
 713.449-8332

DESIGNED BY:
 CLINT J. TAYLOR, P.E.
 AIDYN TURK
 JIM TAYLOR

DATE:
 01/07/2026

SCALE:
 1" = 500'

SPIT LLC
 NORTHWEST ABILENE
 LUXURY RV PARK

CONCEPTUAL RV PARK
 PROPOSED OVERALL SITE MAP

PROJECT NO.
 2513

SHEET NO.
 C-4

SEQUENCE NO.
 4 OF 4

ZONING NOTIFICATION RESPONSE FORM CASE: CUP-2026-03

You may indicate your position on this request by detaching this sheet at the dotted line and returning it to the address below. Additional comment space is provided on the back of this response form. You may also attach additional sheets if needed. All correspondence must be signed and include your name and address. All responses must be received within 5 days of the meeting to be placed in the agenda packet. Please mail the response form to:

Planning and Development Services
PO BOX 60, Abilene, TX 79604-0060

Alternatively, you may email your response to planning@abilenetx.gov.

Requestor's Property Zoning:	AO/GC/LI	Your Name:	FRAZIER JOE & BRENDA	I am in favor	<input type="checkbox"/>
Requestor's Proposed Zoning:	AO/GC(CUP)/LI	Your Address:	3750 OLD ANSON RD	I am opposed	<input checked="" type="checkbox"/>
Requestor's Parcel ID:	46976, 46860, 36972, 15860, 44713, 45695	Your Parcel ID:	993156		

Signature: _____



ZONING NOTIFICATION RESPONSE FORM CASE: CUP-2026-03

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Requestor's Property Zoning:
Requestor's Proposed Zoning:
Requestor's Parcel ID:

AO/GC/LI
AO/GC(CUP)/LI
46976, 46860,
36972, 15860,
44713, 45695

Your Name:
Your Address:
Your Parcel ID:

SPIT LLC
30200 W. Overland Trl.
Abilene TX 79601

I am in favor
I am opposed

Signature:





CONDITIONAL USE PERMIT

Case: CUP-2026-03

Owner: SPIT LLC

Agent: Clint Taylor

Request: A Conditional Use Permit to allow an RV Park in Agricultural Open (AO) Zoning.

Location: 3799 N Danville Dr

Notification: 0 in Favor, 1 in Opposition

Planning & Zoning: February 3, 2026

Council Hearing: February 26, 2026
March 12, 2026







AERIAL LOCATION MAP



Legend

-  CUP-2026-03
-  Courier Parcels

0.15
Miles





USES IN AGRICULTURAL OPEN ZONING

RESIDENTIAL USES:

- C Bed & Breakfast
- P Dwelling– Industrialized Housing Unit
- P Dwelling – Single-Family Detached
- C Vacation Travel Trailer Park

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P Animal Lot
- P/C Day Care Operation – Home-Based*
- P Dwelling – Accessory*
- TP Field Office or Construction Office (temporary)*
- P Freight Container*
- P Garage Sale
- P Home Occupation
- C Mobile Home (permanent security residence)
- C Mobile Home (temporary security residence)
- TP Subdivision Sales Office (temporary)
- P Swimming Pool, Private (accessory to residential use)
- P Tennis Court, Private (accessory to residential use)
- P/SE Wind Energy Conversion Systems*

CULTURAL AND RECREATIONAL USES:

- P Civic, Social, and Fraternal Organization
- P Fairgrounds/Rodeo
- C Motorized Racing
- C Recreation – Outdoors (active)
- P Recreation – Outdoors (passive)
- P Zoo

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- P Community Home
- C Correction, Detention, or Penal Facilities
- P Fire/Police Station
- C Military and Armed Forces Reserve Center
- C Sanitary Landfill

EDUCATIONAL AND RELIGIOUS USES:

- C Cemetery, Crematorium, and Mausoleum
- P Church or Place of Worship
- P School: Public/Private

SERVICE:

- C Kennel (with outdoor pens)
- P Kennel (without outdoor pens)
- P Veterinary Service (all size animals)

TRADE – RETAIL USES:

- C Liquor Store (on premises consumption) (Defined under Liquor Store)

TRANSPORTATION, COMMUNICATION AND UTILITIES:

- C Airport, Heliport and Flying Field Terminals – Commercial
- C Antenna Tower – Commercial
- P Public Utility Facility
- C Utility Generation, Production, Treatment

RESOURCE PRODUCTION AND EXTRACTION USES:

- P Farming, Ranching & Livestock, Hatchery
- C Mining
- C Petroleum or Gas Well
- P Urban Garden

LEGEND

- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
- TP Permitted by Temporary Permit Only, Requiring Approval by Board of Adjustment



CITY OF
ABILENE
TEXAS



PROPERTY AND SURROUNDING VIEWS





CONCEPT PLAN



*147 RV sites



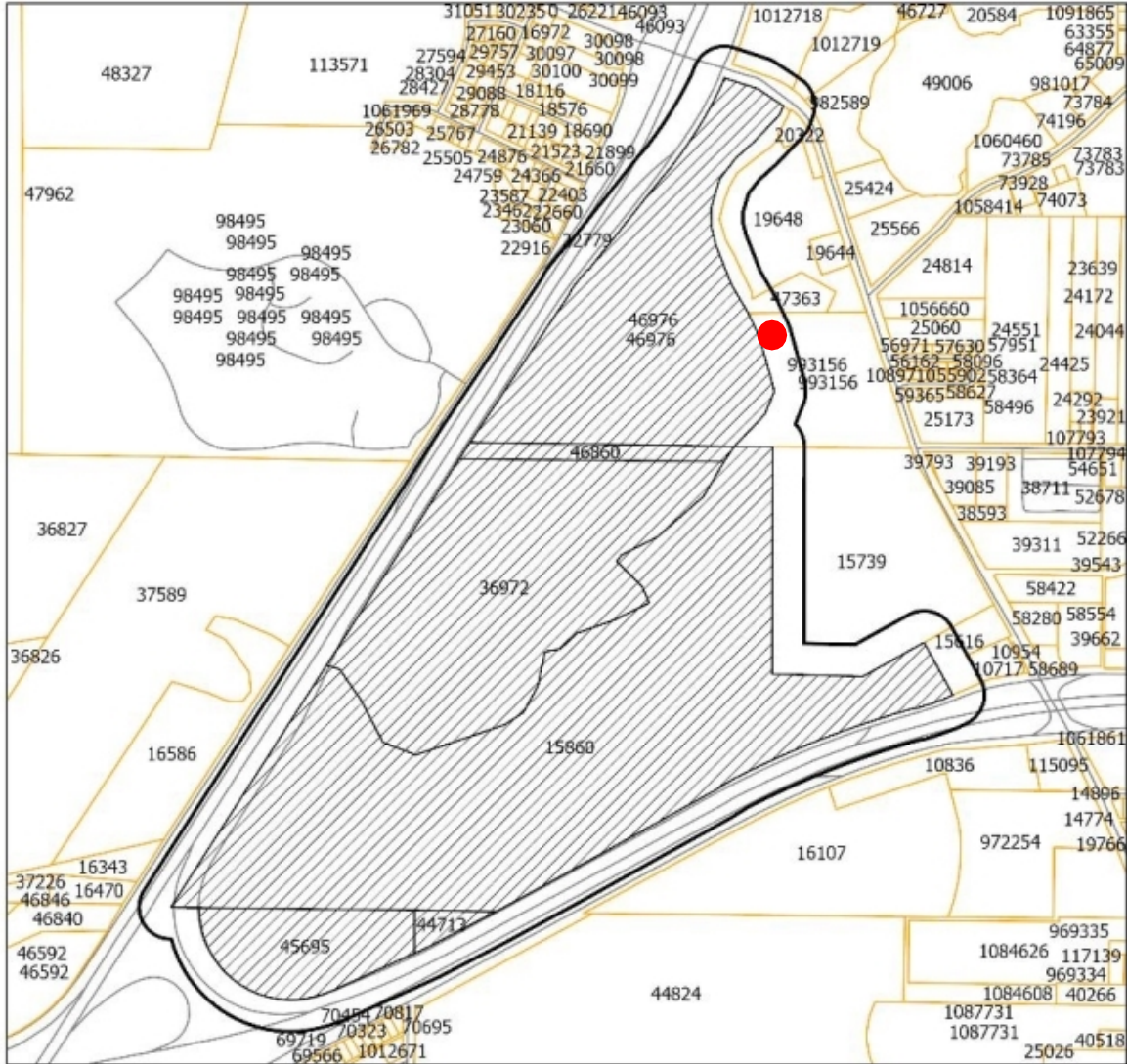
CONCEPTUAL RV PARK PROPOSED OVERALL SITE MAP



**CITY OF
ABILENE
TEXAS**



NOTIFICATION AREA MAP



Legend

- CUP-2026-03
- Notification Area
- Courier Parcels

- 0 - In Favor-
- 1 - Opposed-
- 1.40% Opposition

0.15 Miles





FINDINGS AND RECOMMENDATION

The proposed request is consistent with:

- The *Comprehensive Plan*;
- The surrounding uses and zoning;
- Generally accepted planning principals; and
- The Criteria for Approval in the LDC.

P&Z Recommendation: **approval** subject to the concept plan and plan of operation.





Questions?





**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Tim Littlejohn, Director of Planning & Development Services
ITEM: **8. Ordinance (First Reading) Z-2026-05: Receive a Report, Hold a Discussion and Take Action on a Request from the Owner to Change the Zoning of Approximately 1.54 Acres from Planned Development (PDD-59) to General Retail (GR) Zoning. Located at 4541 Catclaw Drive. (Tim Littlejohn)**

GENERAL INFORMATION

The subject property was annexed into the City limits in 1963 as Agricultural Open (AO) and Residential Multi Family (RM-2). The subject property was rezoned to Planned Development (PDD-59) in 1995. The current base zoning for Tract 2 of the Planned Development is Office (O) zoning, excluding the uses in the Trade-Retail Use category.

FUNDING/FISCAL IMPACT

STAFF AND/OR BOARD RECOMMENDATION

The Planning and Zoning Commission recommends approval by a vote of 7-0.

ATTACHMENTS:

1. Ordinance
2. Staff Report
3. Presentation

BACKUP DOCUMENTATION UPDATED? No

UPDATED ON:

AN ORDINANCE OF THE CITY OF ABILENE, TEXAS, AMENDING THE "LAND DEVELOPMENT CODE" OF THE ABILENE CITY CODE, BY CHANGING THE ZONING DISTRICT BOUNDARIES AFFECTING A CERTAIN PROPERTY; CALLING A PUBLIC HEARING; PROVIDING A PENALTY AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS:

PART 1: That Chapter 2 (Zoning Regulations) of the Land Development Code of the City of Abilene, is hereby amended by changing the zoning district boundaries as set out in Exhibit A, attached hereto and made a part of this ordinance for all purposes.

PART 2: That any person, firm or corporation violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor, and upon conviction thereof, shall be punished by a fine of not more than Two Thousand Dollars (\$2,000.00). Each day such violation shall continue or be permitted to continue, shall be deemed a separate offense.

PART 3: That the Planning Director be, and is hereby authorized and directed to change the official Zoning Map of the City of Abilene to correctly reflect the amendments thereto.

PASSED ON FIRST READING the 26th day of February, 2026.

A notice of the time and place, where and when said ordinance would be given a public hearing and considered for final passage, was published in the *Abilene Reporter-News*, a daily newspaper of general circulation in the City of Abilene, said publication being on the 16th day of January, 2026, the same being more than fifteen (15) days prior to a public hearing held in the Council Chamber of the City Hall in Abilene, Texas, at 8:30 a.m. on the 12th day of March, 2026, to permit the public to be heard prior to final consideration of this ordinance. Said ordinance, being a penal ordinance, becomes effective ten (10) days after its publication in the newspaper, as provided by Section 19 of the Charter of the City of Abilene.

PASSED ON FINAL READING THIS 12th day of March, 2026.

ATTEST:

CITY SECRETARY

MAYOR

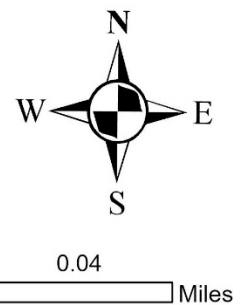
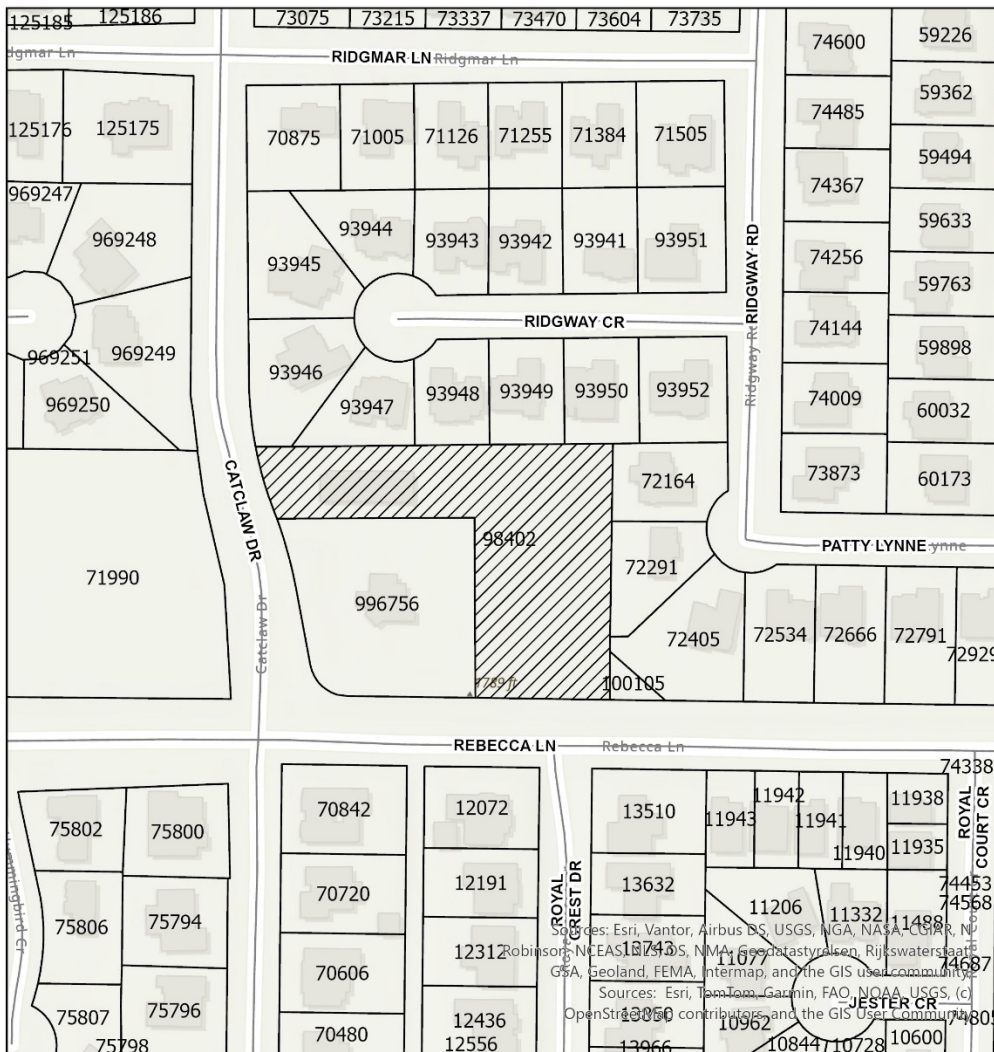
APPROVED:

CITY ATTORNEY

EXHIBIT A

Change the zoning of approximately 1.54 acres from Planned Development (PDD-59) to General Retail (GR).
 Legal description being Lot 1, Block A, Ridgmar Addition Section 2 Continuation 1, Abilene, Taylor County,
 Texas.

Located at 4541 Catclaw Drive.



Z-2026-05

END

ZONING CASE

Z-2026-05

STAFF REPORT



Scheduled Hearings

Planning & Zoning Commission: February 3, 2026
 City Council 1st Reading: February 26, 2026
 City Council 2nd Reading: March 12, 2026

Applicant

Agent: Alex Whitten
 Owner: Stephens Properties, LLC

Case Manager

Kera Valois – Planner

Request

Change the zoning of approximately 1.54 acres from Planned Development (PDD-59) to General Retail (GR).

Location

Located at 4541 Catclaw Drive. Legal description being Lot 1, Block A, Ridgmar Addition Section 2 Continuation 1, Abilene, Taylor County, Texas.

Background

The subject property was annexed into the City limits in 1963 as Agricultural Open (AO) and Residential Multi Family (RM-2). The subject property was rezoned to Planned Development (PDD-59) in 1995. The current base zoning for Tract 2 of the Planned Development is Office (O) zoning, excluding the uses in the Trade-Retail Use category.

Zoning, Existing and Proposed Land Use

	Zoning	Existing Land Use
North	PDD-59	Residence
East	RS-6	Residence
South	PDD-59	Advanced Chiropractic
West	AO	Vacant Lot

Criteria Assessment

Section 1.4.1.4 of Abilene’s Land Development Code states that, in making a determination regarding a requested zoning change, the Planning and Zoning Commission and the City Council may consider the following factors:

- (1) **Whether the proposed zoning map amendment implements the policies of the adopted Comprehensive Plan, including the land use classification of the property on the Future Land Use and Development Plan Map, as amended.**
 The proposed use is consistent with the Comprehensive Plan.
- (2) **Whether the uses permitted by the proposed change in zoning classification and the standards applicable to such uses will be appropriate in the immediate area of the land to be reclassified.**

The proposed zoning would be appropriate as it would be consistent with the surrounding uses.

(3) Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other public services and utilities to the area.

This property will be subject to site plan review; therefore any and all utilities that are required will be addressed during that time.

(4) Any other factors, which will substantially affect the public health, safety, morals, or general welfare.

None known.

P&Z Recommendation

P&Z recommends **approval**.

Attachments

- PowerPoint Presentation

Notification

Pursuant to Section 1.2.2.2 of the Land Development Code, City staff mailed personal notices on January 16, 2026, via standard mail to the owners of property within a 200-foot radius of the subject street right of way. The property owners and associated parcel identification numbers are identified below:

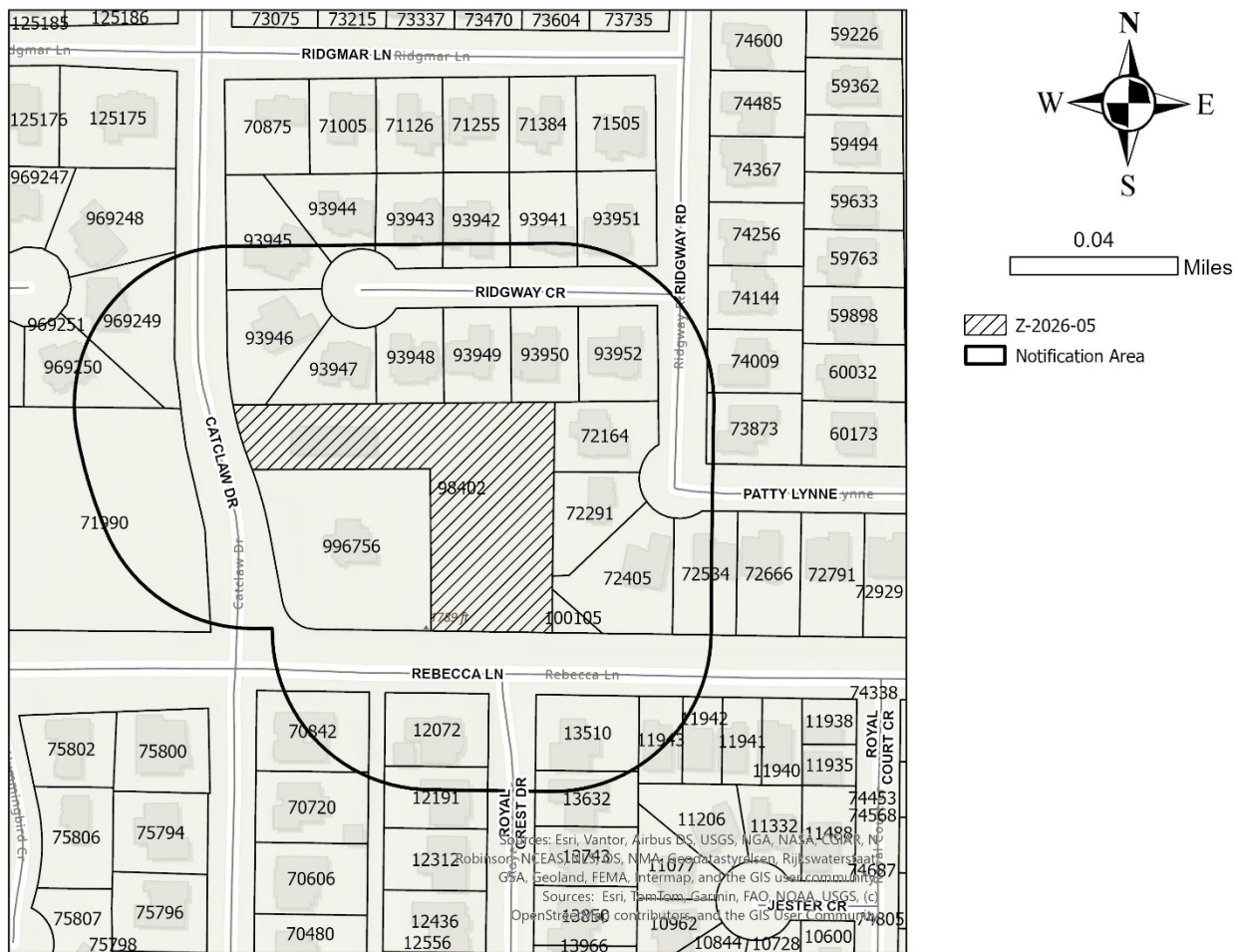
PROPERTY OWNER

Legend: O - Opposed, F - In Favor

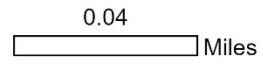
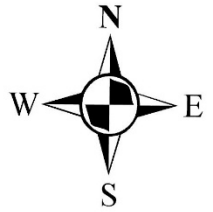
PROPERTY OWNER	PROPERTY ID	SITUS	RESPONSE
ANDERSON DENNIS W & EVELYN	73873	4541 RIDGWAY RD	
BARTON RANDELL E & MARGERY K	93949	3917 RIDGWAY CR	
BATEMAN LOWELL JAMES & NORA A	93948	3925 RIDGWAY CR	
BRENINGER MICHAEL & EMILY	93952	3901 RIDGWAY CR	
BROKERAGE HOUSE INC	93944	3934 RIDGWAY CR	
BYNUM BRONCO D	72405	4558 RIDGWAY RD	
CASE SCOTT J & DOMINGA C	93950	3909 RIDGWAY CR	
DAVEY ERIK ALAN & HEATHER JANA E	70720	4609 CATCLAW DR	
FORD SABRINA	13632	4609 ROYAL CREST DR	
GEMARINO SHOSEI S & AURORA G LIFE EST	969250	4582 COUGAR WY	
GJOCAJ ALMA	969249	4590 COUGAR WY	
J & C MORGAN PROPERTIES LLC	996756	4549 CATCLAW DR	
JAMES ERIC J & LYNDA D	72534	3873 PATTY LYNNE	
JEREZA DANIEL & CASE SCOTT J	74009	4533 RIDGWAY RD	
MILLS JAMES FRANKLIN	13510	4601 ROYAL CREST DR	
NKIERI MOSALA DEBS & NIKKI NICLETTE TULAKWE	72164	4542 RIDGWAY RD	
OBERT MICHAEL	12072	4602 ROYAL CREST DR	
PATTY ROBERT L &	12191	4610 ROYAL CREST DR	
PECINA EZEQUIEL & CAROLYN	93947	3933 RIDGWAY CR	
PRESLEY THOMAS E JR & CHARLA R	93945	3942 RIDGWAY CR	
RITTENHOUSE THOA	93942	3918 RIDGWAY CR	
SELMAN CASEY FERRON	72291	4550 RIDGWAY RD	
SHY MONTIE G & JOSIE	70842	4601 CATCLAW DR	

SPRENCEL SHAWNA MICHELLE	93941	3910 RIDGWAY CR	
STANLEY JEREMY & AMY	93946	3941 RIDGWAY CR	
STEPHNES PROPERTIES LLC	71990		F
STEPHNES PROPERTIES LLC	98402	4541 CATCLAW DR	Applicant
STEPHNES PROPERTIES LLC	100105		F
STOTTS RITA	93951	3902 RIDGWAY CR	
STUTTS BRITTNEY RYAN	11942	3825 REBECCA LN	
THOMPSON LORAN D	93943	3926 RIDGWAY CR	O
VONG YOKKIM &	11943	3833 REBECCA LN	

NOTIFICATION MAP

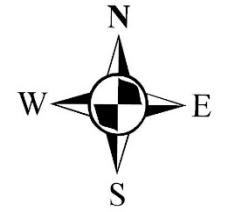
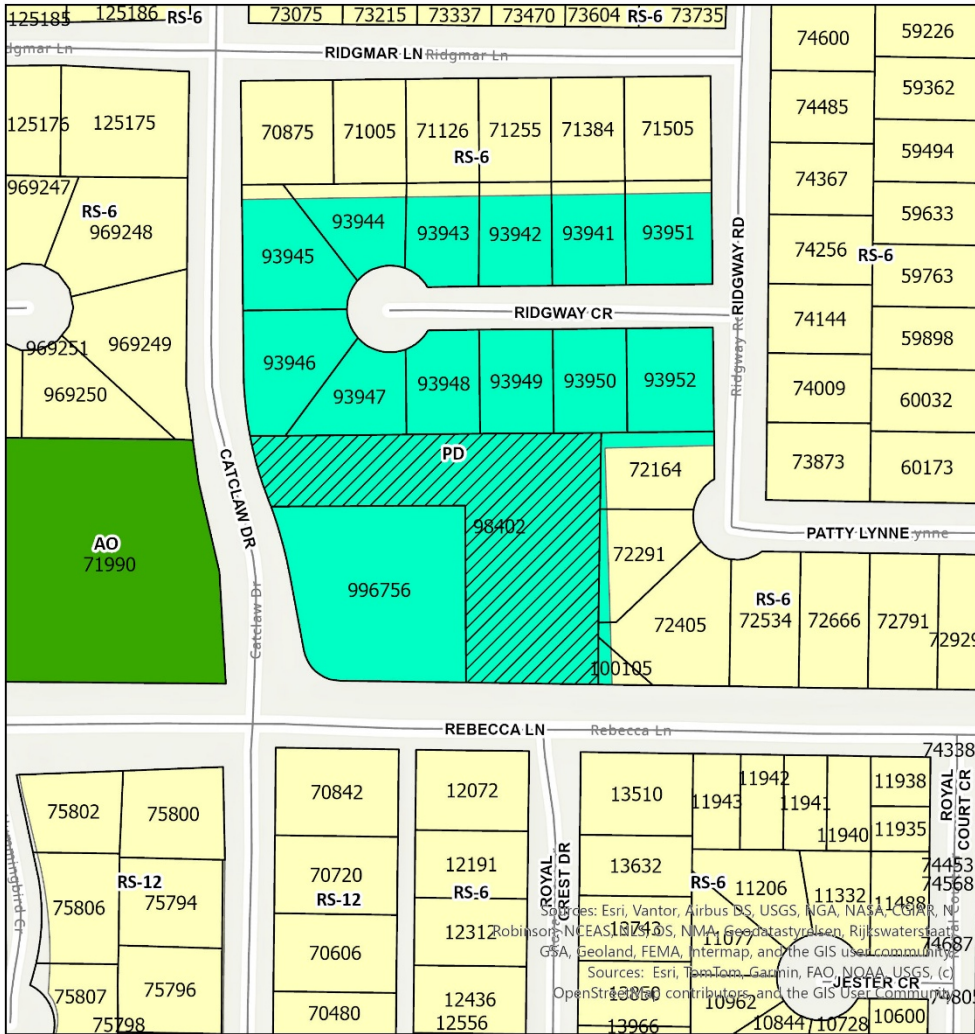


LOCATION MAP




Z-2026-05

ZONING MAP








0.04

Miles

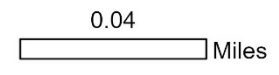
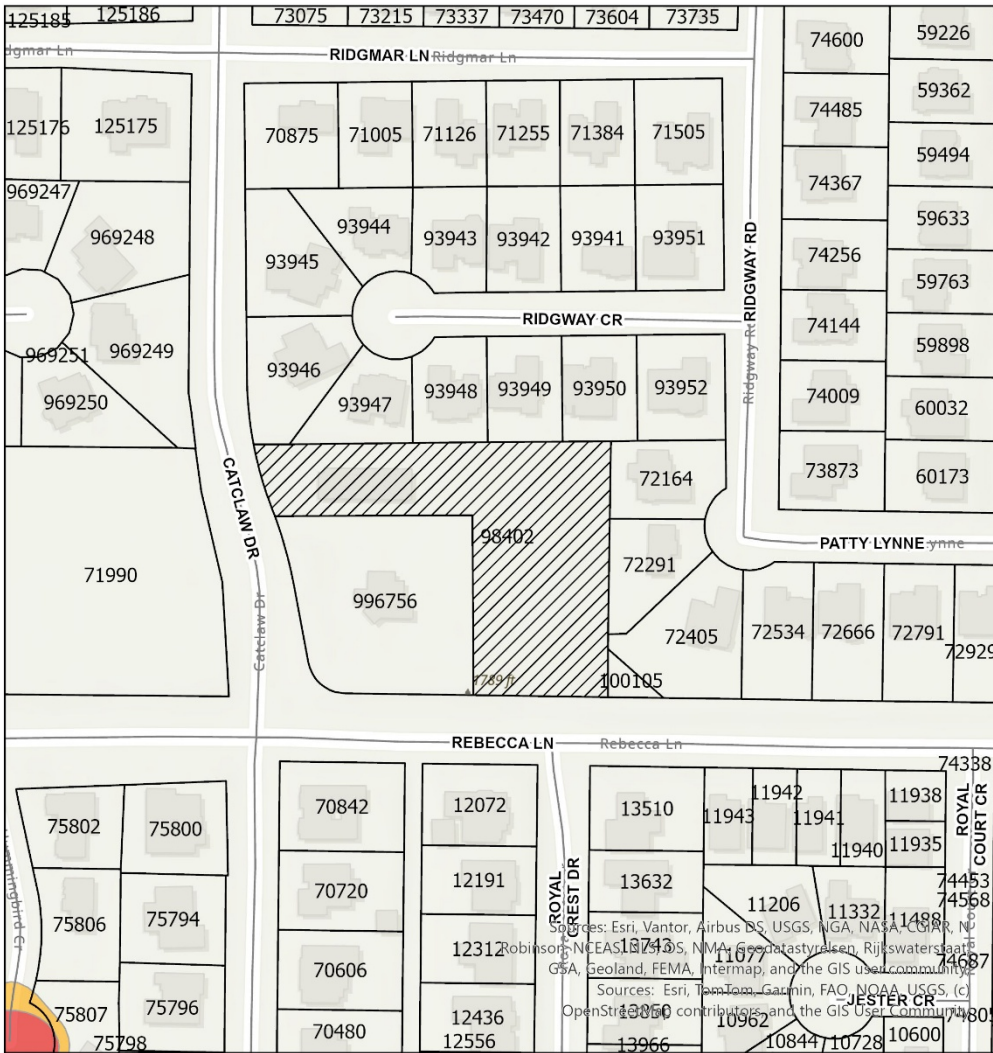
 Z-2026-05

Zoning Districts

-  AO
-  MF
-  PD
-  RS-12
-  RS-6

Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CNR, N
 Robinson, NCEAS, NIS, NMA, GeoData, Rijkswaterstaat
 GSA, Geoland, FEMA, Intermap, and the GIS user community
 Sources: Esri, DeLorme, Garmin, FAO, NOAA, USGS, (c)
 OpenStreetMap contributors, and the GIS User Community

FLOOD MAP



- Z-2026-05**
- FEMA Flood Zones**
- Floodway
 - 100 Year 1%
 - 500 Year .2%
 - Unstudied A Zone

Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CNR, N
 Robinson, NCEAS, Esri, US, NMA, Geodatastyrelsen, Rijkswaterstaat
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 Sources: Esri, DeLorme, Garmin, FAO, NOAA, USGS, (c)
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REZONE REQUEST

Case: Z-2026-05

Agent: Alex Whitten

Owner: Stephens Properties, LLC

Request: Change the zoning of approximately 1.54 acres from Planned Development (PDD-59) to General Retail (GR).

Location: Located 4541 Catclaw Dr

Notification: 2 in Favor, 1 in Opposition

Planning & Zoning: February 3, 2026

Council Hearing: February 26, 2026
March 12, 2026





AERIAL LOCATION MAP

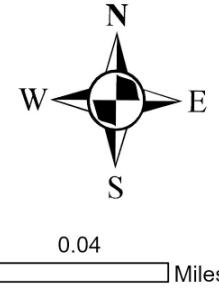
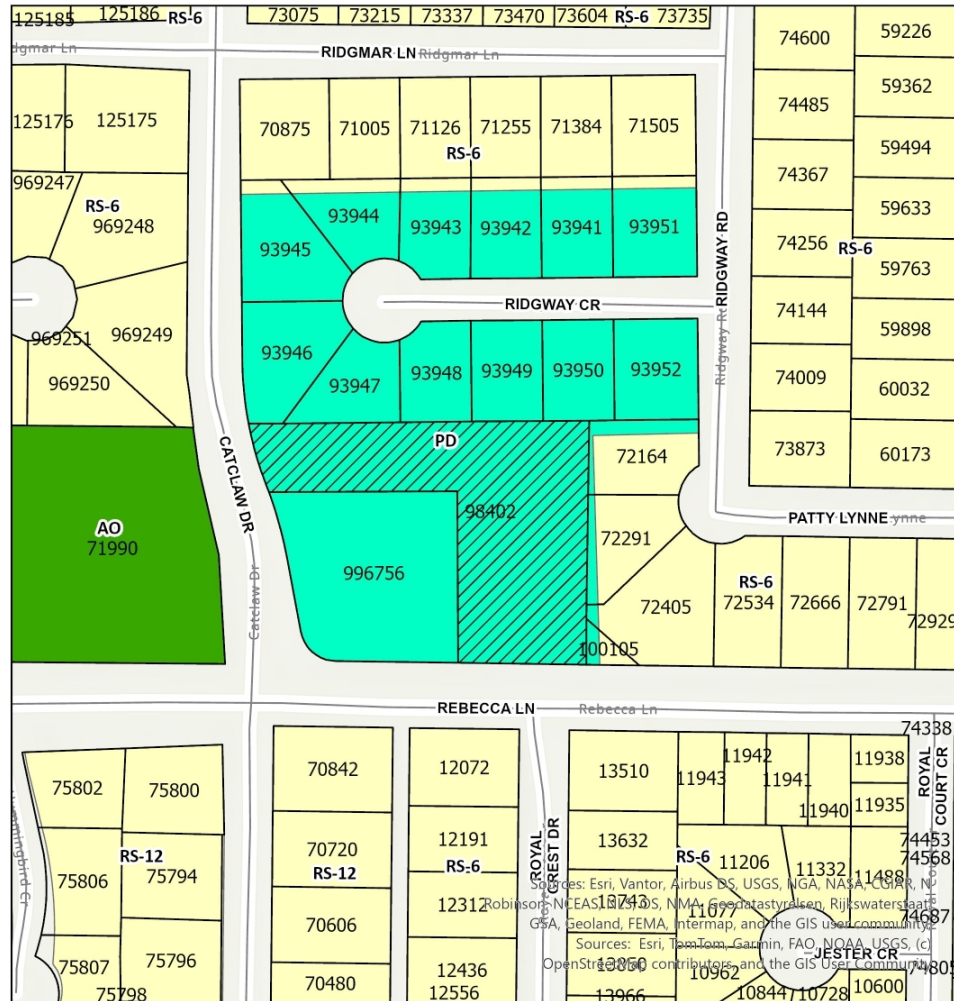


 Z-2026-05





ZONING MAP

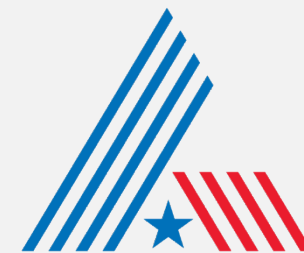


- Z-2026-05
- Zoning Districts
 - AO
 - MF
 - PD
 - RS-12
 - RS-6





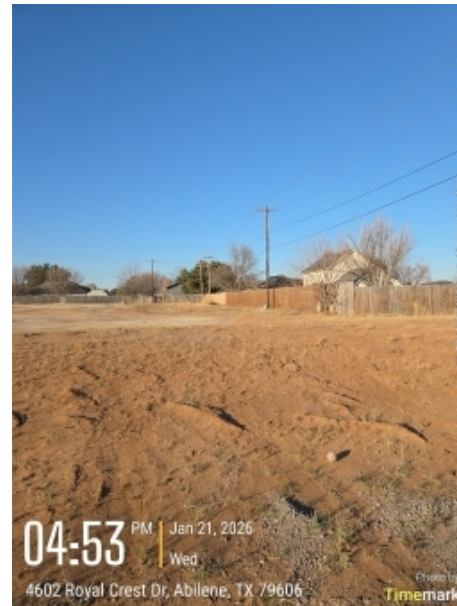
PROPERTY VIEWS



CITY OF
ABILENE
TEXAS



SURROUNDING PROPERTY VIEWS





CURRENT PERMITTED USES WITH THE EXCEPTION OF TRADE-RETAIL USES

RESIDENTIAL USES:

- P Bed & Breakfast
- P Dwelling – Duplex
- P Dwelling – Industrialized Housing Unit
- P Dwelling – Institutional
- C Dwelling – Multiple-Family
- P Dwelling – Single-Family Detached

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P/C Day Care Operation – Home-Based
- TP Field Office or Construction Office (temporary)
- P Garage Sale
- P Home Occupation
- C Mobile Home (temporary security residence)
- P Recreation Building, Multipurpose
- P Recreation Equipment, Mobile (storage & parking)
- P Subdivision Sales Office (temporary)
- P Swimming Pool, Private (accessory to residential use)
- P Tennis Court, Private (accessory to residential use)
- P/SE Wind Energy Conversion Systems

CULTURAL AND RECREATIONAL USES:

- P Civic, Social, and Fraternal Organization
- C Cultural Facilities
- P Recreation – Outdoors (passive)

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- P Fire/Police Station
- C Medical/Dental Laboratory
- P Post Office

EDUCATIONAL AND RELIGIOUS USES:

- C Arts School
- P Church or Place of Worship
- C Day-Care Operation - Center-Based
- P School: Public/Private

SERVICE:

- P Office (general, professional, financial)
- P Personal Services
- C Printing, Copying, Reproduction, Publishing

TRADE – RETAIL USES:

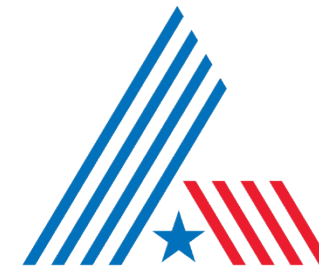
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P/C Restaurant, Fast Food
- P/C Restaurant, Standard

TRANSPORTATION, COMMUNICATION AND UTILITIES:

- P Automobile Parking Lot or Structure - Commercial
- C Broadcast Studio
- P Public Utility Facility

RESOURCE PRODUCTION & EXTRACTION:

- P Petroleum or Gas Well
- P Urban Garden



CITY OF
ABILENE
TEXAS

LEGEND

- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
- TP Permitted by Temporary Permit Only, Requiring Approval by Board of Adjustment



USES IN GENERAL RETAIL ZONING

RESIDENTIAL USES:

- P Bed & Breakfast
- P Dwelling – Industrialized Housing Unit
- P Dwelling – Institutional
- C Dwelling – Multiple-Family
- P Dwelling – Single Family Detached
- P Hotel/Motel

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P/C Day Care Operation – Home Based
- P Drive-Thru Facility
- TP Field Office or Construction Office (temporary)
- C Freight Container
- P Fuel Sales
- P Garage Sales
- P Home Occupation
- TP Itinerant Business
- P Manufacturing (incidental)
- TP Mobile Home (temporary security residence)
- P Recreation Building, Multipurpose
- P Recreation Equipment, Mobile (storage and parking)
- P Recycling Collection Point
- P Subdivision Sales Office (temporary)
- P Swimming Pools, Private (accessory to residential use)
- P Tennis Courts, Private (accessory to residential use)
- P/SE Wind Energy Conversion Systems

CULTURAL AND RECREATIONAL USES:

- P Civic, Social, and Fraternal Organization
- P Cultural Facilities
- C Recreation – Outdoors (active)
- P Recreation – Outdoors (passive)
- P Recreation and Commercial Entertainment - Indoor

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- C Ambulance Service
- P Fire/Police Station
- P Medical/Dental Laboratory
- P Post Office
- C Social Service Facility

EDUCATIONAL AND RELIGIOUS USES:

- P Arts School
- P Church or Place of Worship
- P Day-Care Operation - Center-Based
- P Educational and Scientific Research
- P School: Public/Private
- C Trade/Business School
- P University/College

SERVICE:

- P/C Automobile Wash
- C Funeral Home/ Mortuary/Morgue
- P Kennel (Without Outdoor Pens)
- P Laundry/Dry Cleaning Services & Facilities
- P Office (general, professional, financial)
- P Personal Services
- C Printing, Copying, Reproduction, Publishing
- P Repair and Maintenance Services - Automobile/Small Truck (minor)
- P Repair and Maintenance Services (indoor)
- C Tattoo Parlor
- P Veterinary Service (small animals)

TRADE – RETAIL USES:

- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P Fuel Sales
- P Liquor Store (Off Premises Consumption) (*Defined under Liquor Store*)
- P Liquor Store (On Premises Consumption) (*Defined under Liquor Store*)
- P Restaurant, Brew Pub
- P Restaurant, Fast Food
- P Restaurant, Standard
- P Retail Sales/Rental (indoor)
- C Retail Sales/Rental (outdoors, non-vehicle)

TRANSPORTATION, COMMUNICATION AND UTILITIES:

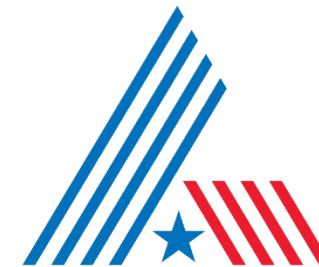
- C Antenna Tower- Commercial
- P Automobile Parking Lot or Structure - Commercial
- P Broadcast Studio
- P Public Utility Facility

RESOURCE PRODUCTION AND EXTRACTION USES:

- P Petroleum or Gas Well
- P Urban Garden

LEGEND

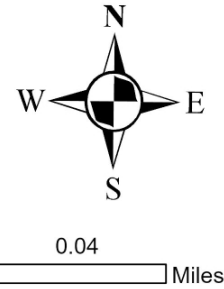
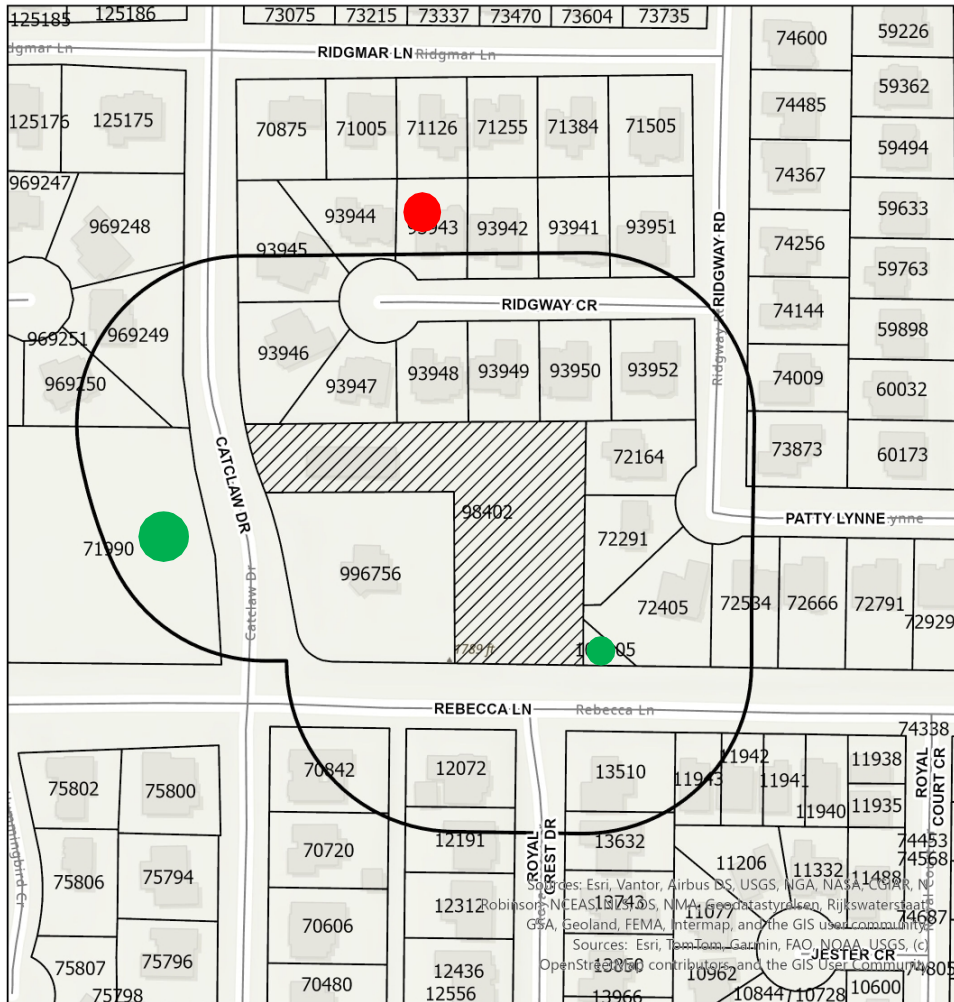
- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
- TP Permitted by Temporary Permit Only, Requiring Approval by Board of Adjustment



CITY OF
ABILENE
TEXAS



NOTIFICATION AREA MAP



2 - in Favor - ●
1 - in Opposition - ●
0.57% in Opposition

▨ Z-2026-05
○ Notification Area





FINDINGS AND RECOMMENDATIONS

The request is consistent with:

- The *Comprehensive Plan*;
- The surrounding uses and zoning;
- Generally accepted planning principals; and
- The Criteria for Approval in the LDC.

P&Z Recommendation: **Approval**





Questions?





**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Tim Littlejohn, Director of Planning & Development Services
ITEM: 9. Ordinance (First Reading) Z-2026-06: Receive a Report, Hold a Discussion and Take Action on a Request from the Owner to Change the Zoning of Approximately 2.80 Acres from Agricultural Open (AO) to Residential Single-Family (RS-6) Zoning. Located at the 1500 Block of Wildlife Trails Parkway. (Tim Littlejohn)

GENERAL INFORMATION

The owner would like to rezone the property to Residential Single-family to allow them to plat the property in order to build a single-family residence at the parcel adjacent.

- The minimum lot size in Agricultural Open zoning is 5 acres.
- The parcel being rezoned is located entirely within the floodplain.
- The owner intends to keep the parcel vacant.
- The proposed residence will be located on the parcel adjacent to the east. (lot 2)

FUNDING/FISCAL IMPACT

STAFF AND/OR BOARD RECOMMENDATION

The Planning and Zoning Commission recommends approval by a vote of 7-0.

ATTACHMENTS:

1. Ordinance
2. Staff Report
3. Existing Zoning Map - Civil - 1768397295
4. Proposed Zoning Map - Civil - 1768397315
5. 1726-MRP Yandell Subdivision Initial
6. Response Z-2026-06
7. Presentation

BACKUP DOCUMENTATION UPDATED? Yes

UPDATED ON: 02/25/2026

AN ORDINANCE OF THE CITY OF ABILENE, TEXAS, AMENDING THE "LAND DEVELOPMENT CODE" OF THE ABILENE CITY CODE, BY CHANGING THE ZONING DISTRICT BOUNDARIES AFFECTING A CERTAIN PROPERTY; CALLING A PUBLIC HEARING; PROVIDING A PENALTY AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS:

PART 1: That Chapter 2 (Zoning Regulations) of the Land Development Code of the City of Abilene, is hereby amended by changing the zoning district boundaries as set out in Exhibit A, attached hereto and made a part of this ordinance for all purposes.

PART 2: That any person, firm or corporation violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor, and upon conviction thereof, shall be punished by a fine of not more than Two Thousand Dollars (\$2,000.00). Each day such violation shall continue or be permitted to continue, shall be deemed a separate offense.

PART 3: That the Planning Director be, and is hereby authorized and directed to change the official Zoning Map of the City of Abilene to correctly reflect the amendments thereto.

PASSED ON FIRST READING the 26th day of February, 2026.

A notice of the time and place, where and when said ordinance would be given a public hearing and considered for final passage, was published in the *Abilene Reporter-News*, a daily newspaper of general circulation in the City of Abilene, said publication being on the 16th day of January, 2026, the same being more than fifteen (15) days prior to a public hearing held in the Council Chamber of the City Hall in Abilene, Texas, at 8:30 a.m. on the 12th day of March, 2026, to permit the public to be heard prior to final consideration of this ordinance. Said ordinance, being a penal ordinance, becomes effective ten (10) days after its publication in the newspaper, as provided by Section 19 of the Charter of the City of Abilene.

PASSED ON FINAL READING THIS 12th day of March, 2026.

ATTEST:

CITY SECRETARY

MAYOR

APPROVED:

CITY ATTORNEY

ORDINANCE NO. _____

EXHIBIT A

Change the zoning of approximately 2.80 acres from Agricultural Open (AO) to Residential Single Family (RS-6).

Legal description as follows:

BEING a 2.07 Ac acre tract out of Blocks 5, 6 and 7 of Jackson's Subdivision, recorded in Volume 1, Page 91, Plat Records, Taylor County, Texas, same being out of the East Half of Section 33, Blind Asylum Lands, Taylor County, Texas, same being out of a 9.270 acre tract recorded in Document No. 201800317, Official Public Records, Taylor County, Texas, and being more particularly described as follows:

BEGINNING at a called aluminum monument on the north right of way of Wildlife Trails Parkway for the southwest corner of said 9.270 acre tract and this tract;

THENCE North 20 degrees 48 minutes 04 seconds East a distance of 217.76 feet to a called aluminum monument for the northwest corner of said 9.270 acre tract and this tract;

THENCE North 88 degrees 02 minutes 38 seconds East a distance of 87.62 feet to a called 1/2 inch iron rod for a corner of said 9.207 acre tract and this tract;

THENCE South 75 degrees 29 minutes 20 seconds East a distance of 54.35 feet to a called 1/2 inch iron rod for a corner of said 9.207 acre tract and this tract;

THENCE South 57 degrees 51 minutes 17 seconds East a distance of 27.72 feet to a called 1/2 inch iron rod for a corner of said 9.207 acre tract and this tract;

THENCE South 47 degrees 15 minutes 31 seconds East a distance of 141.53 feet to a called 1/2 inch iron rod for a corner of said 9.207 acre tract and the northeast corner of this tract;

THENCE South 00 degrees 55 minutes 04 seconds West a distance of 338.24 feet to a called 1/2 inch iron rod for a corner of this tract;

THENCE South 41 degrees 24 minutes 11 seconds West a distance of 178.14 feet to a point on the south line of said 9.207 acre tract, same being the north right of way of Wildlife Trails Parkway for the southeast corner of this tract, where a called 1/2 inch iron rod in concrete at the end of a curve to the left with a radius of 270.00 feet is calculated to bear 298.79' S 56°30'23";

THENCE, along the north right of way of Wildlife Trails Parkway, with a curve turning to the right having a delta angle of 05 degrees 35 minutes 44 seconds, a radius of 270.00 feet, an arc length of 26.37 feet, and a chord bearing North 20 degrees 06 minutes 51 seconds West a distance of 26.36' to a called 1/2 inch iron rod in concrete for a corner of said 9.207 acre tract and this tract;

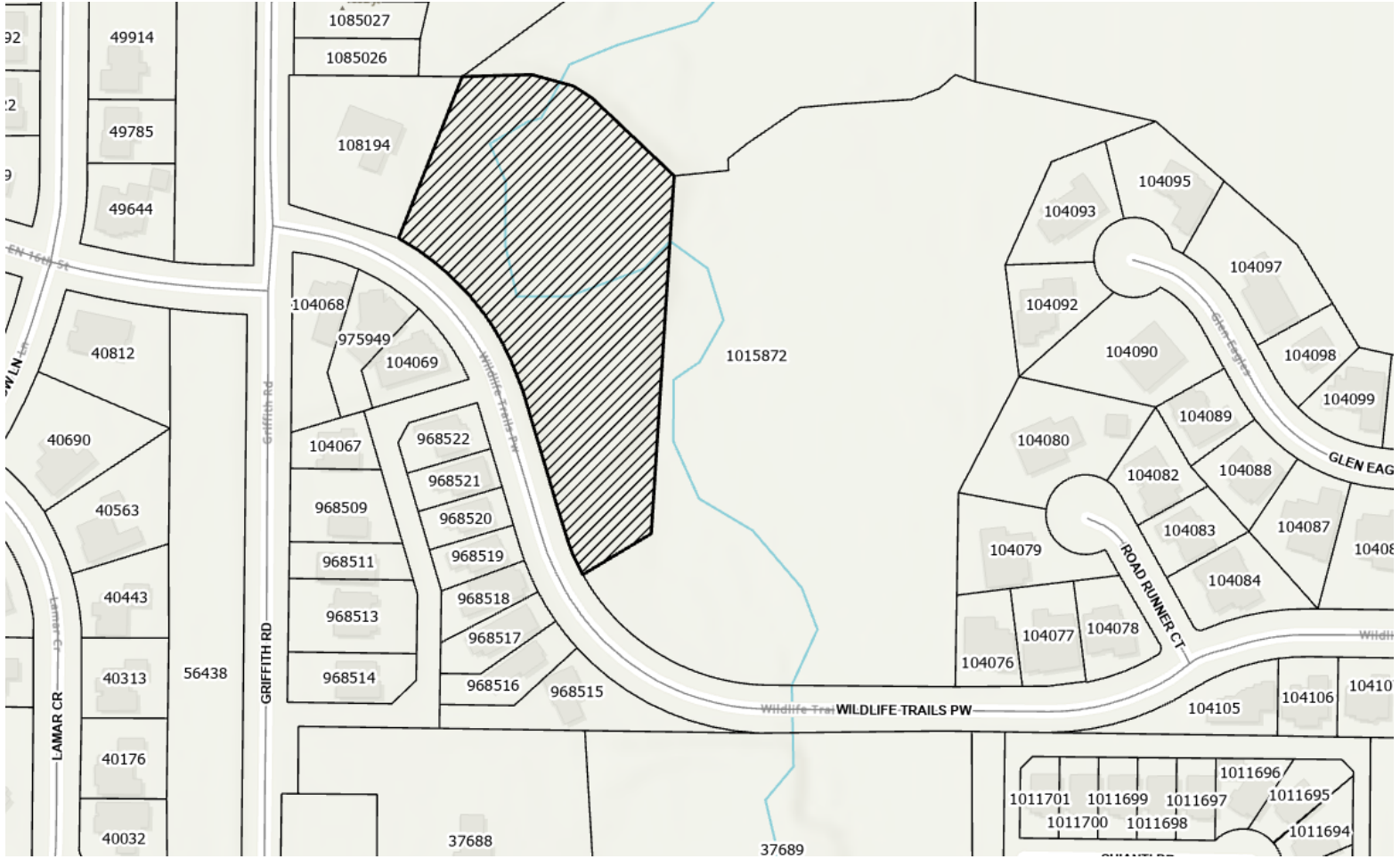
THENCE North 17 degrees 16 minutes 03 seconds West, along the north right of way of Wildlife Trails Parkway, a distance of 180.32 feet to a called 1/2 inch iron rod for a corner of said 9.207 acre tract and this tract;

THENCE, along the north right of way of Wildlife Trails Parkway, with a curve turning to the left having a delta angle of 44 degrees 30 minutes 14 seconds, a radius of 330.00 feet, an arc length of 256.32 feet, and a chord bearing North 39 degrees 32 minutes 22 seconds West a distance of 249.93' to the Point of Beginning containing an area of

2.807 acres. Not surveyed on the ground.

Located at 1512 Wildlife Trails Parkway.

END



ZONING CASE

Z-2026-06

STAFF REPORT



Scheduled Hearings

Planning & Zoning Commission: February 3, 2026
 City Council 1st Reading: February 12, 2026
 City Council 2nd Reading: February 26, 2026

Applicant

Owner: Timothy Yandell

Case Manager

Adam Holland – Planner

Request

Change the zoning of approximately 2.80 acres from Agricultural Open (AO) to Residential Single Family (RS-6).

Location

Located at 1512 Wildlife Trails Pkwy

Background

The owner would like to rezone the property to Residential Single-family to allow them to plat the property in order to build a single-family residence at the parcel adjacent.

- The minimum lot size in Agricultural Open zoning is 5 acres.
- The parcel being rezoned is located entirely within the floodplain.
- The owner intends to keep the parcel vacant.
- The proposed residence will be located on the parcel adjacent to the east. (lot 2)

Zoning, Existing and Proposed Land Use

	Zoning	Existing Land Use
North	AO	Lake
East	RS-6	Single-Family Residences
South	AO	Single-Family Residences
West	PH/RS-6	Single-Family Residences

Criteria Assessment

Section 1.4.1.4 of Abilene’s Land Development Code states that, in making a determination regarding a requested zoning change, the Planning and Zoning Commission and the City Council may consider the following factors:

- (1) Whether the proposed zoning map amendment implements the policies of the adopted Comprehensive Plan, including the land use classification of the property on the Future Land Use and Development Plan Map, as amended.**

The proposed use is consistent with the Comprehensive Plan.

(2) Whether the uses permitted by the proposed change in zoning classification and the standards applicable to such uses will be appropriate in the immediate area of the land to be reclassified.

The proposed zoning would be appropriate in the immediate area.

(3) Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other public services and utilities to the area.

All services are provided.

(4) Any other factors, which will substantially affect the public health, safety, morals, or general welfare.

None known.

Planning and Zoning Commission Recommendation

P&Z recommends **approval**.

Attachments

- PowerPoint Presentation
- Application

Notification

Pursuant to Section 1.2.2.2 of the Land Development Code, City staff mailed personal notices on December 19, 2025, via standard mail to the owners of property within a 200-foot radius of the subject street right of way. The property owners and associated parcel identification numbers are identified below:

PROPERTY OWNER

Legend: O - Opposed, F - In Favor

OWNER	PROP_ID	SITUS	RESPONSE
BEAZLEY WILLIAM FRANKLIN & TODDI JAINE	104068	1501 WILDLIFE TRAILS PW	
BREWER RANDAL LEE	1085028	1621 GRIFFITH RD	
BREWER ROBERT SIDNEY & LINDA LEE	1085029	1627 GRIFFITH RD	
DAUGHERITY MICHAEL S &	975949	1509 WILDLIFE TRAILS PW	
ESMAN TERESA	1085027	1615 GRIFFITH RD	
ESPINOZA GUSTAVO	968515	1581 WILDLIFE TRAILS PW	
ETHEREDGE JIM & GRETCHEN	37688	1401 GRIFFITH RD	
GRIFFITH LAKE ESTATES LLC	1015689		
GUTTUSO MELINDA K	968513	1417 GRIFFITH RD	
HENDRICK KAREN NELSON	968521	1533 WILDLIFE TRAILS PW	
HERRERA ISAIAS & JULIETTA ESTRADA	968520	1541 WILDLIFE TRAILS PW	F
HUNT JERROD LEE & STEPHANIE	968516	1573 WILDLIFE TRAILS PW	
JONES JAY	968509	1433 GRIFFITH RD	
LEGACY PASS LLC	1085033	1633 GRIFFITH RD	
PEACOCK DANNY & TERESA	968517	1565 WILDLIFE TRAILS PW	
PEARSON JOHN E	1085026	1609 GRIFFITH RD	
SCOTT MICHAEL	108194	1502 WILDLIFE TRAILS PW	
STOCKTON STEPHANIE MICHELLE	968519	1549 WILDLIFE TRAILS PW	
THOMAS PAUL W TRUST	968522	1525 WILDLIFE TRAILS PW	
WEST TEXAS UTILITIES CO	1093058		
WILLIAMS AMANDA LEE	104067	1509 GRIFFITH RD	

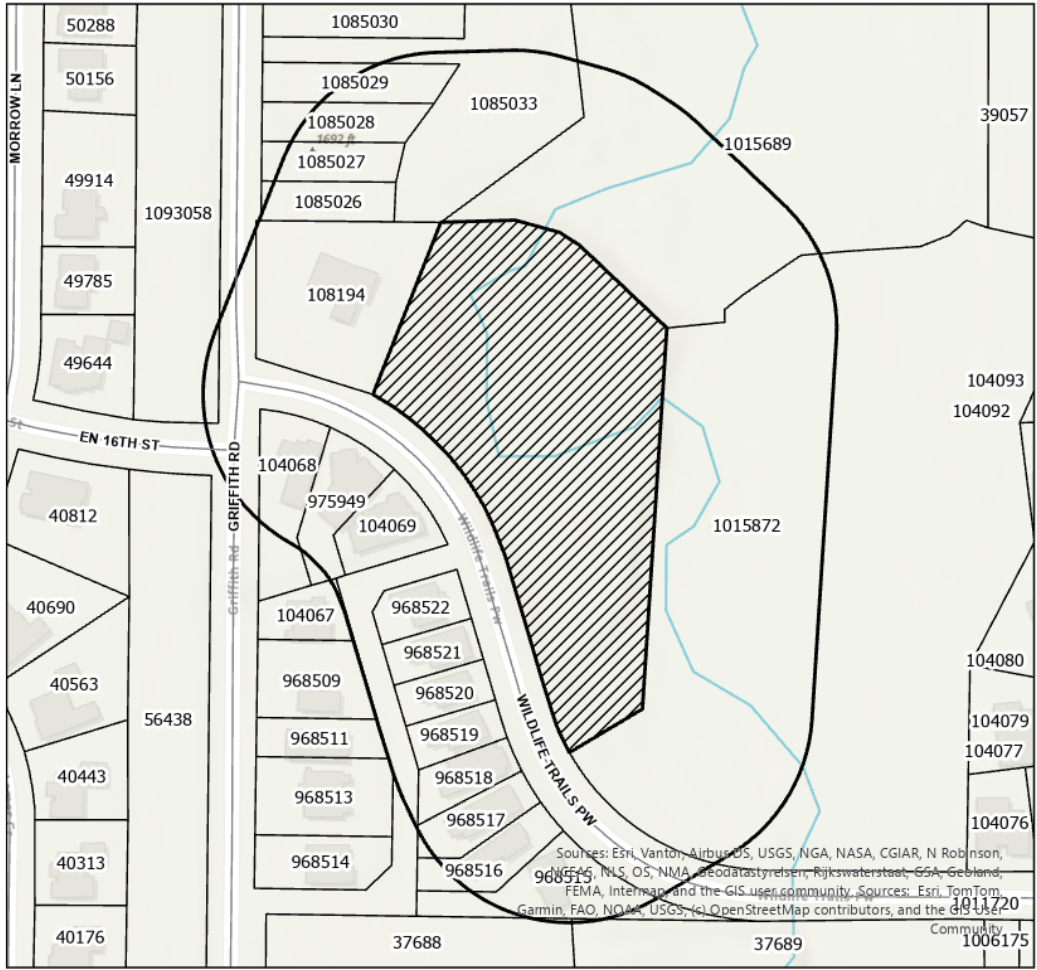
YANDELL TIMOTHY G & TRACI L	104069	1517 WILDLIFE TRAILS PW	
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PROPERTY ID

Legend: O - Opposed, F - In Favor

OWNER	PROP_ID	SITUS	RESPONSE
ETHEREDGE JIM & GRETCHEN	37688	1401 GRIFFITH RD	
WILLIAMS AMANDA LEE	104067	1509 GRIFFITH RD	
BEAZLEY WILLIAM FRANKLIN & TODDI JAINE	104068	1501 WILDLIFE TRAILS PW	
YANDELL TIMOTHY G & TRACI L	104069	1517 WILDLIFE TRAILS PW	
SCOTT MICHAEL	108194	1502 WILDLIFE TRAILS PW	
JONES JAY	968509	1433 GRIFFITH RD	
GUTTUSO MELINDA K	968513	1417 GRIFFITH RD	
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HUNT JERROD LEE & STEPHANIE	968516	1573 WILDLIFE TRAILS PW	
PEACOCK DANNY & TERESA	968517	1565 WILDLIFE TRAILS PW	
STOCKTON STEPHANIE MICHELLE	968519	1549 WILDLIFE TRAILS PW	
HERRERA ISAIAS & JULIETTA ESTRADA	968520	1541 WILDLIFE TRAILS PW	F
HENDRICK KAREN NELSON	968521	1533 WILDLIFE TRAILS PW	
THOMAS PAUL W TRUST	968522	1525 WILDLIFE TRAILS PW	
DAUGHERITY MICHAEL S &	975949	1509 WILDLIFE TRAILS PW	
GRIFFITH LAKE ESTATES LLC	1015689		
PEARSON JOHN E	1085026	1609 GRIFFITH RD	
ESMAN TERESA	1085027	1615 GRIFFITH RD	
BREWER RANDAL LEE	1085028	1621 GRIFFITH RD	
BREWER ROBERT SIDNEY & LINDA LEE	1085029	1627 GRIFFITH RD	
LEGACY PASS LLC	1085033	1633 GRIFFITH RD	
WEST TEXAS UTILITIES CO	1093058		

NOTIFICATION MAP

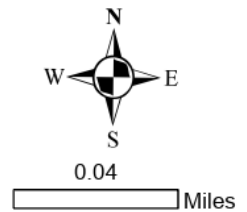
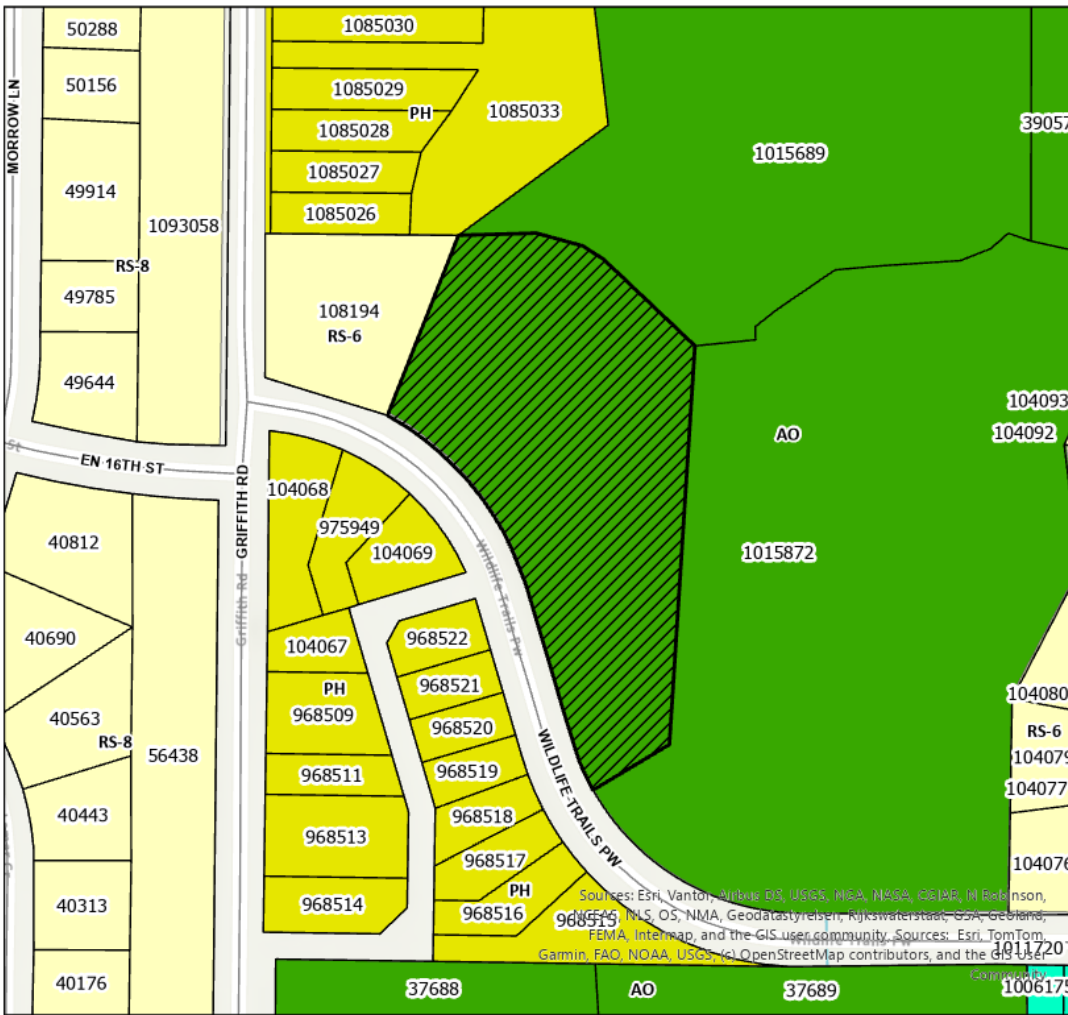


Sources: Esri, Vantor, Airbus, US, USGS, NGA, NASA, CGIAR, N Robinson, NGA, NLS, OS, NMA, GeoDatastyler, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community. Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community

LOCATION MAP



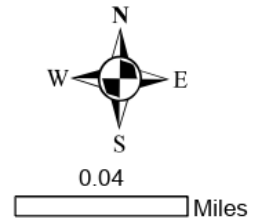
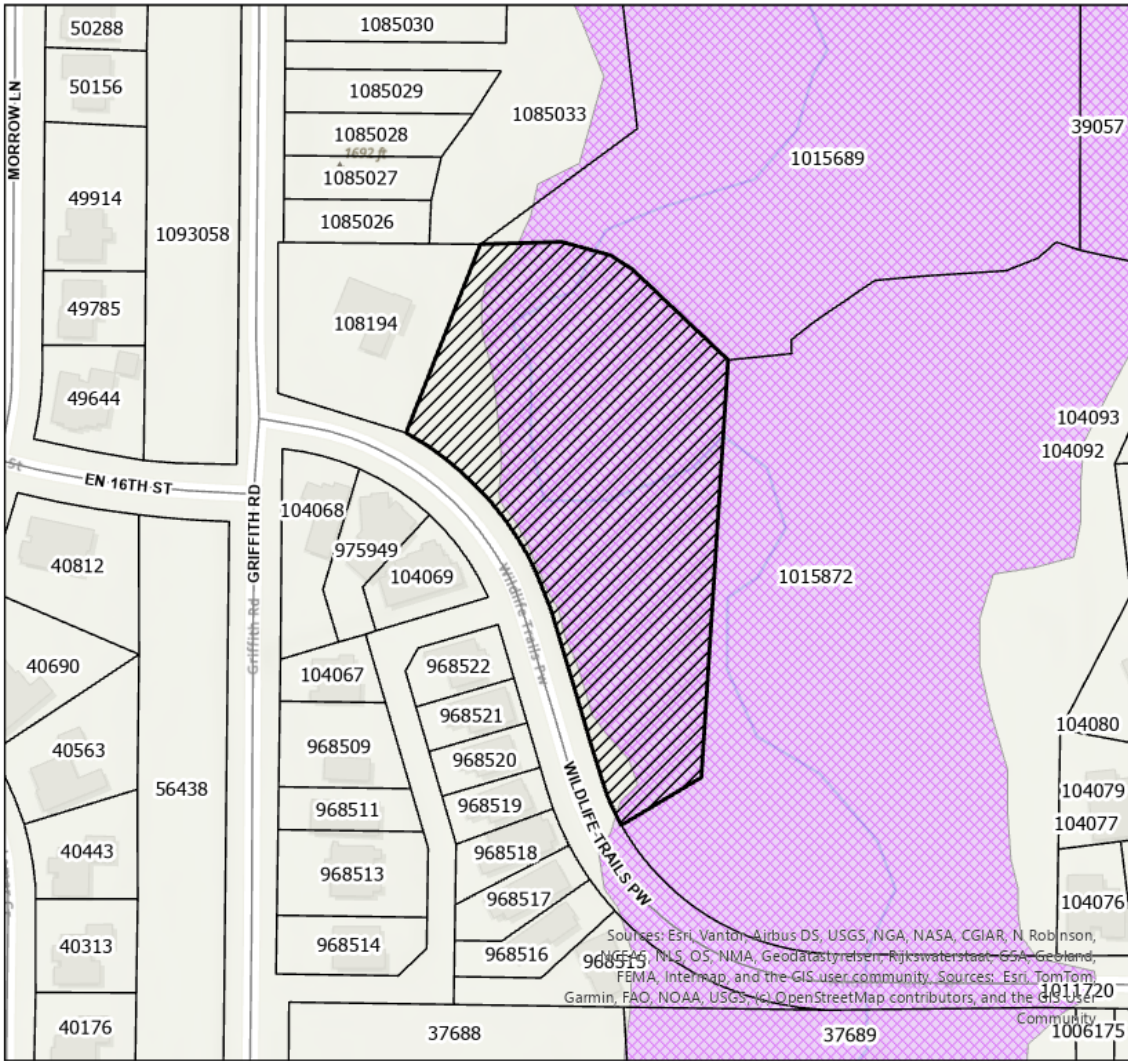
ZONING MAP



- Z-2026-06**
- Zoning Districts**
- AO
 - PD
 - PH
 - RS-6
 - RS-8

Sources: Esri, Vantor, Wikia, USGS, NOAA, CALPR, IN Robinson, NGA, NLS, OS, NMA, Geodatastyreisen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community. Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS user community.

FLOOD MAP



- Z-2026-06
- FEMA Flood Zones
- █ Floodway
 - █ 100 Year 1%
 - █ 500 Year .2%
 - █ Unstudied A Zone
 - █ Floodway
 - █ 100 Year 1%
 - █ 500 Year .2%
 - █ Unstudied A Zone

Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NLS, OS, NMA, Geodatasyrielsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community. Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, and OpenStreetMap contributors, and the GIS user community.

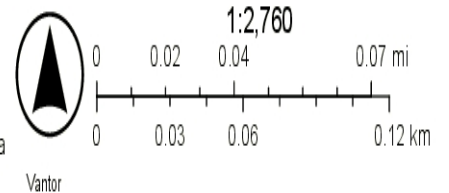
City of Abilene Planning & Zoning Map



12/30/2025, 3:50:42 PM

- Abilene Municipal Boundary
- Courier Parcels
- All District Outlines
- Agricultural Open (AO)
- Single Family Residential (RS)
- Patio Home (PH)
- Planned Development (PD)
- Road Centerlines
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery

Citations
 60cm Resolution Metadata



City of Abilene Planning & Zoning Map



Portion of Property to be Rezoned:
 Proposed Zoning: RS-6
 2.807 Acres
 (Field Notes Attached)


1512 Wildlife Parkway
 Abilene, Texas 79601
 Property ID: 1015872

12/30/2025, 3:50:42 PM

- Abilene Municipal Boundary
- Courier Parcels
- All District Outlines
- Agricultural Open (AO)
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- High Resolution 60cm Imagery
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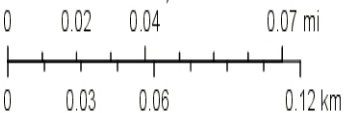
Citations

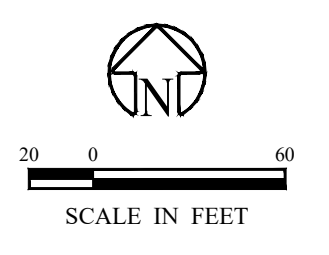
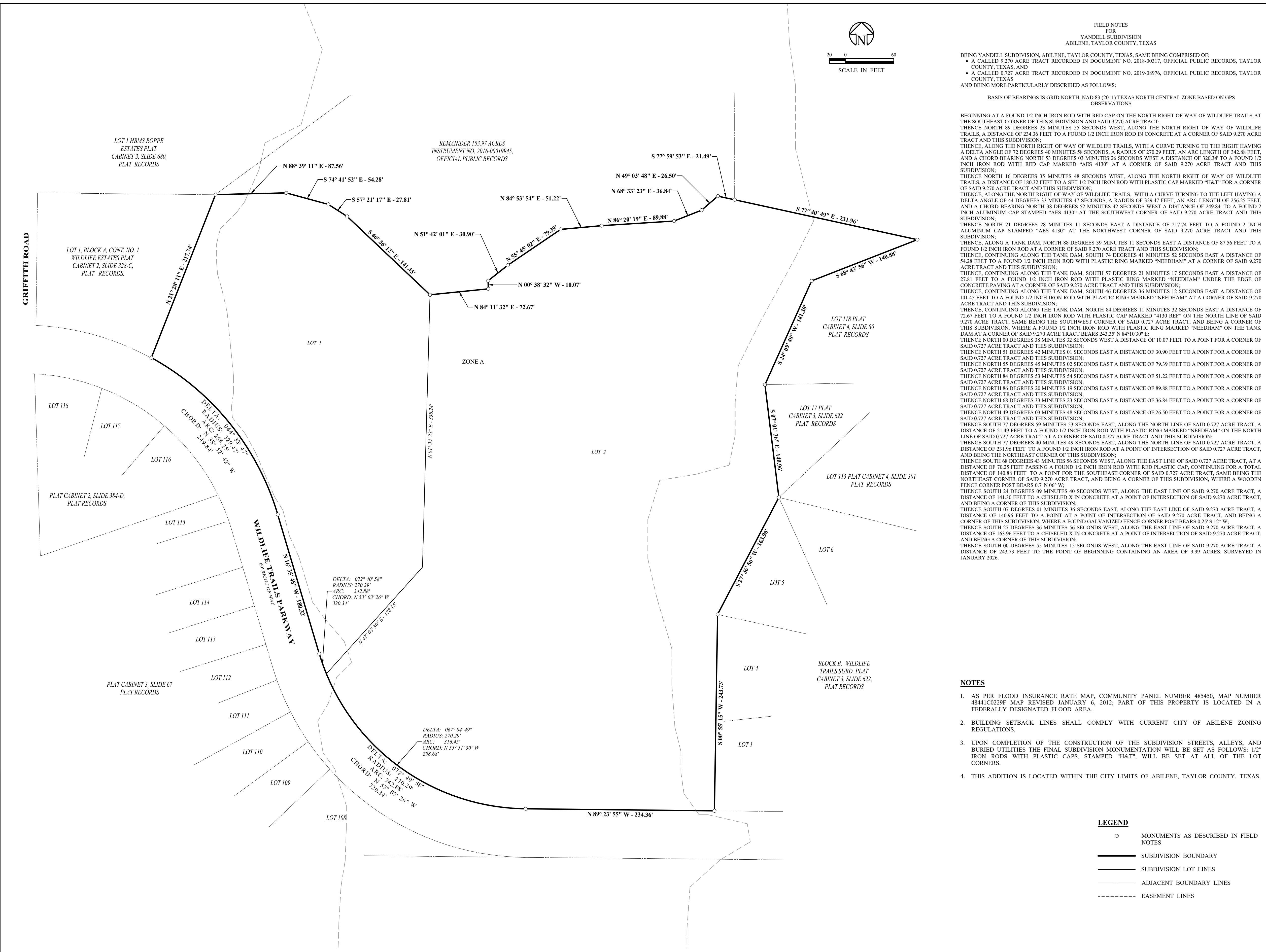
60cm Resolution Metadata



Vantor

1:2,760





FIELD NOTES
FOR
YANDELL SUBDIVISION
ABILENE, TAYLOR COUNTY, TEXAS

BEING YANDELL SUBDIVISION, ABILENE, TAYLOR COUNTY, TEXAS, SAME BEING COMPRISED OF:
 • A CALLED 9.270 ACRE TRACT RECORDED IN DOCUMENT NO. 2018-00317, OFFICIAL PUBLIC RECORDS, TAYLOR COUNTY, TEXAS, AND
 • A CALLED 0.727 ACRE TRACT RECORDED IN DOCUMENT NO. 2019-08976, OFFICIAL PUBLIC RECORDS, TAYLOR COUNTY, TEXAS
 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS IS GRID NORTH, NAD 83 (2011) TEXAS NORTH CENTRAL ZONE BASED ON GPS OBSERVATIONS

BEGINNING AT A FOUND 1/2 INCH IRON ROD WITH RED CAP ON THE NORTH RIGHT OF WAY OF WILDLIFE TRAILS AT THE SOUTHEAST CORNER OF THIS SUBDIVISION AND SAID 9.270 ACRE TRACT;
 THENCE NORTH 89 DEGREES 23 MINUTES 55 SECONDS WEST, ALONG THE NORTH RIGHT OF WAY OF WILDLIFE TRAILS, A DISTANCE OF 234.36 FEET TO A FOUND 1/2 INCH IRON ROD IN CONCRETE AT A CORNER OF SAID 9.270 ACRE TRACT AND THIS SUBDIVISION;
 THENCE ALONG THE NORTH RIGHT OF WAY OF WILDLIFE TRAILS, WITH A CURVE TURNING TO THE RIGHT HAVING A DELTA ANGLE OF 72 DEGREES 40 MINUTES 58 SECONDS, A RADIUS OF 270.29 FEET, AN ARC LENGTH OF 342.88 FEET, AND A CHORD BEARING NORTH 38 DEGREES 03 MINUTES 26 SECONDS WEST A DISTANCE OF 320.34 TO A FOUND 1/2 INCH IRON ROD WITH RED CAP MARKED "AES 4130" AT A CORNER OF SAID 9.270 ACRE TRACT AND THIS SUBDIVISION;
 THENCE NORTH 16 DEGREES 35 MINUTES 48 SECONDS WEST, ALONG THE NORTH RIGHT OF WAY OF WILDLIFE TRAILS, A DISTANCE OF 190.32 FEET TO A SET 1/2 INCH IRON ROD WITH PLASTIC CAP MARKED "H&T" FOR A CORNER OF SAID 9.270 ACRE TRACT AND THIS SUBDIVISION;
 THENCE ALONG THE NORTH RIGHT OF WAY OF WILDLIFE TRAILS, WITH A CURVE TURNING TO THE LEFT HAVING A DELTA ANGLE OF 44 DEGREES 33 MINUTES 47 SECONDS, A RADIUS OF 329.47 FEET, AN ARC LENGTH OF 256.25 FEET, AND A CHORD BEARING NORTH 38 DEGREES 03 MINUTES 26 SECONDS WEST A DISTANCE OF 249.84 TO A FOUND 2 INCH ALUMINUM CAP STAMPED "AES 4130" AT THE NORTHWEST CORNER OF SAID 9.270 ACRE TRACT AND THIS SUBDIVISION;
 THENCE NORTH 21 DEGREES 28 MINUTES 11 SECONDS EAST A DISTANCE OF 217.74 FEET TO A FOUND 2 INCH ALUMINUM CAP STAMPED "AES 4130" AT THE NORTHWEST CORNER OF SAID 9.270 ACRE TRACT AND THIS SUBDIVISION;
 THENCE, ALONG A TANK DAM, NORTH 88 DEGREES 39 MINUTES 11 SECONDS EAST A DISTANCE OF 87.56 FEET TO A FOUND 1/2 INCH IRON ROD AT A CORNER OF SAID 9.270 ACRE TRACT AND THIS SUBDIVISION;
 THENCE, CONTINUING ALONG THE TANK DAM, SOUTH 74 DEGREES 41 MINUTES 52 SECONDS EAST A DISTANCE OF 54.28 FEET TO A FOUND 1/2 INCH IRON ROD WITH PLASTIC RING MARKED "NEEDHAM" AT A CORNER OF SAID 9.270 ACRE TRACT AND THIS SUBDIVISION;
 THENCE, CONTINUING ALONG THE TANK DAM, SOUTH 57 DEGREES 21 MINUTES 17 SECONDS EAST A DISTANCE OF 27.81 FEET TO A FOUND 1/2 INCH IRON ROD WITH PLASTIC RING MARKED "NEEDHAM" UNDER THE EDGE OF CONCRETE PAVING AT A CORNER OF SAID 9.270 ACRE TRACT AND THIS SUBDIVISION;
 THENCE, CONTINUING ALONG THE TANK DAM, SOUTH 46 DEGREES 36 MINUTES 12 SECONDS EAST A DISTANCE OF 141.45 FEET TO A FOUND 1/2 INCH IRON ROD WITH PLASTIC RING MARKED "NEEDHAM" AT A CORNER OF SAID 9.270 ACRE TRACT AND THIS SUBDIVISION;
 THENCE, CONTINUING ALONG THE TANK DAM, NORTH 84 DEGREES 11 MINUTES 32 SECONDS EAST A DISTANCE OF 72.67 FEET TO A FOUND 1/2 INCH IRON ROD WITH PLASTIC CAP MARKED "4130 REF" ON THE NORTH LINE OF SAID 9.270 ACRE TRACT, SAME BEING THE SOUTHWEST CORNER OF SAID 0.727 ACRE TRACT, AND BEING A CORNER OF THIS SUBDIVISION, WHERE A FOUND 1/2 INCH IRON ROD WITH PLASTIC RING MARKED "NEEDHAM" ON THE TANK DAM AT A CORNER OF SAID 9.270 ACRE TRACT BEARS 243.35 N 84°10'30" E;
 THENCE NORTH 00 DEGREES 38 MINUTES 32 SECONDS WEST A DISTANCE OF 10.07 FEET TO A POINT FOR A CORNER OF SAID 0.727 ACRE TRACT AND THIS SUBDIVISION;
 THENCE NORTH 51 DEGREES 42 MINUTES 01 SECONDS EAST A DISTANCE OF 30.90 FEET TO A POINT FOR A CORNER OF SAID 0.727 ACRE TRACT AND THIS SUBDIVISION;
 THENCE NORTH 55 DEGREES 45 MINUTES 02 SECONDS EAST A DISTANCE OF 79.39 FEET TO A POINT FOR A CORNER OF SAID 0.727 ACRE TRACT AND THIS SUBDIVISION;
 THENCE NORTH 86 DEGREES 20 MINUTES 19 SECONDS EAST A DISTANCE OF 89.88 FEET TO A POINT FOR A CORNER OF SAID 0.727 ACRE TRACT AND THIS SUBDIVISION;
 THENCE NORTH 84 DEGREES 53 MINUTES 54 SECONDS EAST A DISTANCE OF 51.22 FEET TO A POINT FOR A CORNER OF SAID 0.727 ACRE TRACT AND THIS SUBDIVISION;
 THENCE NORTH 49 DEGREES 03 MINUTES 48 SECONDS EAST A DISTANCE OF 26.50 FEET TO A POINT FOR A CORNER OF SAID 0.727 ACRE TRACT AND THIS SUBDIVISION;
 THENCE SOUTH 77 DEGREES 59 MINUTES 53 SECONDS EAST, ALONG THE NORTH LINE OF SAID 0.727 ACRE TRACT, A DISTANCE OF 21.49 FEET TO A FOUND 1/2 INCH IRON ROD WITH PLASTIC RING MARKED "NEEDHAM" ON THE NORTH LINE OF SAID 0.727 ACRE TRACT AT A CORNER OF SAID 0.727 ACRE TRACT AND THIS SUBDIVISION;
 THENCE SOUTH 77 DEGREES 40 MINUTES 49 SECONDS EAST, ALONG THE NORTH LINE OF SAID 0.727 ACRE TRACT, A DISTANCE OF 231.96 FEET TO A FOUND 1/2 INCH IRON ROD AT A POINT OF INTERSECTION OF SAID 0.727 ACRE TRACT, AND BEING THE NORTHEAST CORNER OF THIS SUBDIVISION;
 THENCE SOUTH 68 DEGREES 43 MINUTES 56 SECONDS WEST, ALONG THE EAST LINE OF SAID 0.727 ACRE TRACT, AT A DISTANCE OF 70.25 FEET PASSING A FOUND 1/2 INCH IRON ROD WITH RED PLASTIC CAP, CONTINUING FOR A TOTAL DISTANCE OF 140.88 FEET TO A POINT FOR THE SOUTHEAST CORNER OF SAID 0.727 ACRE TRACT, SAME BEING THE NORTHEAST CORNER OF SAID 9.270 ACRE TRACT, AND BEING A CORNER OF THIS SUBDIVISION, WHERE A WOODEN FENCE CORNER POST BEARS 0.7 N 06° W;
 THENCE SOUTH 24 DEGREES 09 MINUTES 40 SECONDS WEST, ALONG THE EAST LINE OF SAID 9.270 ACRE TRACT, A DISTANCE OF 141.30 FEET TO A CHISELED X IN CONCRETE AT A POINT OF INTERSECTION OF SAID 9.270 ACRE TRACT, AND BEING A CORNER OF THIS SUBDIVISION;
 THENCE SOUTH 07 DEGREES 01 MINUTES 36 SECONDS EAST, ALONG THE EAST LINE OF SAID 9.270 ACRE TRACT, A DISTANCE OF 140.96 FEET TO A POINT AT A POINT OF INTERSECTION OF SAID 9.270 ACRE TRACT, AND BEING A CORNER OF THIS SUBDIVISION, WHERE A FOUND GALVANIZED FENCE CORNER POST BEARS 0.25 S 12° W;
 THENCE SOUTH 27 DEGREES 36 MINUTES 56 SECONDS WEST, ALONG THE EAST LINE OF SAID 9.270 ACRE TRACT, A DISTANCE OF 163.96 FEET TO A CHISELED X IN CONCRETE AT A POINT OF INTERSECTION OF SAID 9.270 ACRE TRACT, AND BEING A CORNER OF THIS SUBDIVISION;
 THENCE SOUTH 00 DEGREES 55 MINUTES 15 SECONDS WEST, ALONG THE EAST LINE OF SAID 9.270 ACRE TRACT, A DISTANCE OF 243.73 FEET TO THE POINT OF BEGINNING CONTAINING AN AREA OF 9.99 ACRES, SURVEYED IN JANUARY 2026.

NOTES

- AS PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 485450, MAP NUMBER 484410229F MAP REVISED JANUARY 6, 2012; PART OF THIS PROPERTY IS LOCATED IN A FEDERALLY DESIGNATED FLOOD AREA.
- BUILDING SETBACK LINES SHALL COMPLY WITH CURRENT CITY OF ABILENE ZONING REGULATIONS.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SUBDIVISION STREETS, ALLEYS, AND BURIED UTILITIES THE FINAL SUBDIVISION MONUMENTATION WILL BE SET AS FOLLOWS: 1/2" IRON RODS WITH PLASTIC CAPS, STAMPED "H&T", WILL BE SET AT ALL OF THE LOT CORNERS.
- THIS ADDITION IS LOCATED WITHIN THE CITY LIMITS OF ABILENE, TAYLOR COUNTY, TEXAS.

LEGEND

- MONUMENTS AS DESCRIBED IN FIELD NOTES
- SUBDIVISION BOUNDARY
- SUBDIVISION LOT LINES
- ADJACENT BOUNDARY LINES
- - - - - EASEMENT LINES

<p>PLANNING COMMISSION</p> <p>THIS PLAT IS HEREBY APPROVED BY THE CITY PLANNING COMMISSION OF THE CITY OF ABILENE, TEXAS AND THE COUNTY CLERK IS HEREBY AUTHORIZED TO FILE SAID PLAT IN ACCORDANCE WITH THE PROVISIONS OF TEXAS LOCAL GOVERNMENT CODE CHAPTER 212, SUBCHAPTER A, AS AMENDED.</p> <p>DATE _____ CHAIRMAN _____</p> <p>ATTEST _____ SECRETARY _____</p> <p>DATE _____ PLANNING DIRECTOR _____</p>	<p>PLANNING DIRECTOR</p> <p>FILED WITH PLANNING DIRECTOR, CITY OF ABILENE, TEXAS</p> <p>DATE _____ FILE NUMBER _____</p> <p>PLANNING DIRECTOR _____</p>
<p>DIRECTOR OF PUBLIC WORKS</p> <p>THE DEDICATION FILED, IN CONNECTION WITH THIS PLAT IS HEREBY APPROVED AND ALL STREETS, ALLEYS, AND PUBLIC AREAS SHOWN HEREON ARE HEREBY ACCEPTED ON BEHALF OF THE PUBLIC BY THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF ABILENE, TEXAS.</p> <p>DATE _____ DIRECTOR OF PUBLIC WORKS _____</p>	<p>COUNTY CLERK</p> <p>I CERTIFY THAT THE SUBDIVISION PLAT DESCRIBED HEREIN WAS FILED FOR RECORD ON</p> <p>DATE _____ FILE NUMBER _____</p> <p>COUNTY CLERK _____ COUNTY, TEXAS</p> <p>DEPUTY _____</p>
<p>OWNER'S CERTIFICATE AND DEDICATION</p> <p>THE UNDERSIGNED OWNER(S) OF THE HEREINAFTER DESCRIBED REAL PROPERTY HAVE CAUSED SUCH PROPERTY TO BE SURVEYED AND PLATTED AND TO BE SUBDIVIDED INTO BLOCKS, LOTS, STREETS, ALLEYS, UNDER THE NAME OF YANDELL SUBDIVISION ABILENE, TAYLOR COUNTY, TEXAS</p> <p>AS SHOWN ON THE ATTACHED PLAT AND DO HEREBY DEDICATE TO THE PUBLIC FOREVER FOR ALL PUBLIC PURPOSES THE STREETS, ALLEYS, LANES, EASEMENTS, PARKS AND OTHER PUBLIC LANDS SHOWN THEREON THE LANDS INCLUDED WITHIN SUCH PLAT OR SUBDIVISION ARE DESCRIBED BY METES AND BOUNDS AS FOLLOWS:</p> <p style="text-align: center;">"FIELD NOTES HERON"</p> <p>OWNER'S CERTIFICATE AND DEDICATION</p> <p>EXECUTED THIS _____ DAY OF _____ 20____</p> <p>_____ SIGNATURE</p> <p>TIMOTHY YANDELL PRINTED NAME</p>	
<p>ACKNOWLEDGMENT</p> <p>THE STATE OF TEXAS: COUNTY OF X</p> <p>BEFORE ME THE UNDERSIGNED AUTHORITY IN AND FOR SAID COUNTY AND STATE ON THIS DAY PERSONALLY APPEARED TIMOTHY YANDELL</p> <p>KNOWN TO ME TO BE THE PERSON _____ WHOSE NAME _____ SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT _____ EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED</p> <p>GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____ A D 20____</p> <p style="text-align: right;">_____ NOTARY PUBLIC</p>	
<p>GENERAL NOTES</p> <p>SHEET 1 OF 1 ACREAGE 9.99</p> <p>SCALE 1" = 60' SMALLEST LOT 122.258 SQ FT LARGEST LOT 313.033 SQ FT</p> <p>SURVEYOR CERTIFICATE AND PLAT DESCRIPTION</p> <p>CERTIFICATION:</p> <p>I HEREBY CERTIFY THAT THE PLAT SUBMITTED HERewith REPRESENTS A TRUE SURVEY MADE BY THE UNDERSIGNED OR UNDER MY SUPERVISION ON THE GROUND AND THAT PERMANENT MARKERS AND MONUMENTS HAVE BEEN SET AS INDICATED ON THE PLAT AND IN ACCORDANCE WITH THE "SUBDIVISION REGULATIONS" OF THE CITY OF ABILENE</p> <p>PLAT DESCRIPTION:</p> <p>YANDELL SUBDIVISION ABILENE, TAYLOR COUNTY, TEXAS</p> <p style="text-align: right;"><i>PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT</i></p> <p>_____ SIGNATURE</p>	
<p>DATE 01/26/2026</p> <p>DATE _____</p> <p>RILEY ELMER GRIFFITH REGISTERED PROFESSIONAL LAND SURVEYOR</p>	

TIMOTHY YANDELL
1517 WILDLIFE TRAILS PARKWAY
ABILENE, TEXAS 79601

**YANDELL SUBDIVISION
ABILENE, TAYLOR COUNTY, TEXAS**

eht

Enprotec | Hibbs & Todd

402 Cedar Street • Abilene, Texas 79601 • T: (325) 698-5560 • F: (325) 690-3240 • www.eht.com
PE Firm Registration No. 1151 • PG Firm Registration No. 50103 • RPLS Firm Registration No. 10011900



Zoning Notification Response Form Case: Z-2026-06

From isaias.herrera [REDACTED]
Date Tue 1/20/2026 1:50 PM
To Planning Services <planning@abilenetx.gov>

Dear Sir/Ma'am,

I, Isaias Herrera, and my wife Julietta Herrera are in favor of the zone change being requested under Zoning Application Number Z 2026 06.

If there are any questions regarding our position, i can be reached at [REDACTED], or via email to:

Thank You,

Isaias Herrera

Sent from my T-Mobile 5G Device



REZONE REQUEST

Case: Z-2026-06

Owner: Timothy Yandell

Request: Change the zoning of approximately 2.80 acres from Agricultural Open (AO) to Residential Single-Family (RS-6)

Location: 1512 Wildlife Tr.

Notification: 1 in Favor, 0 in Opposition

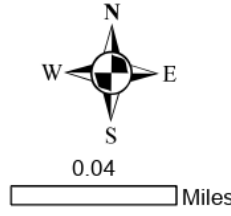
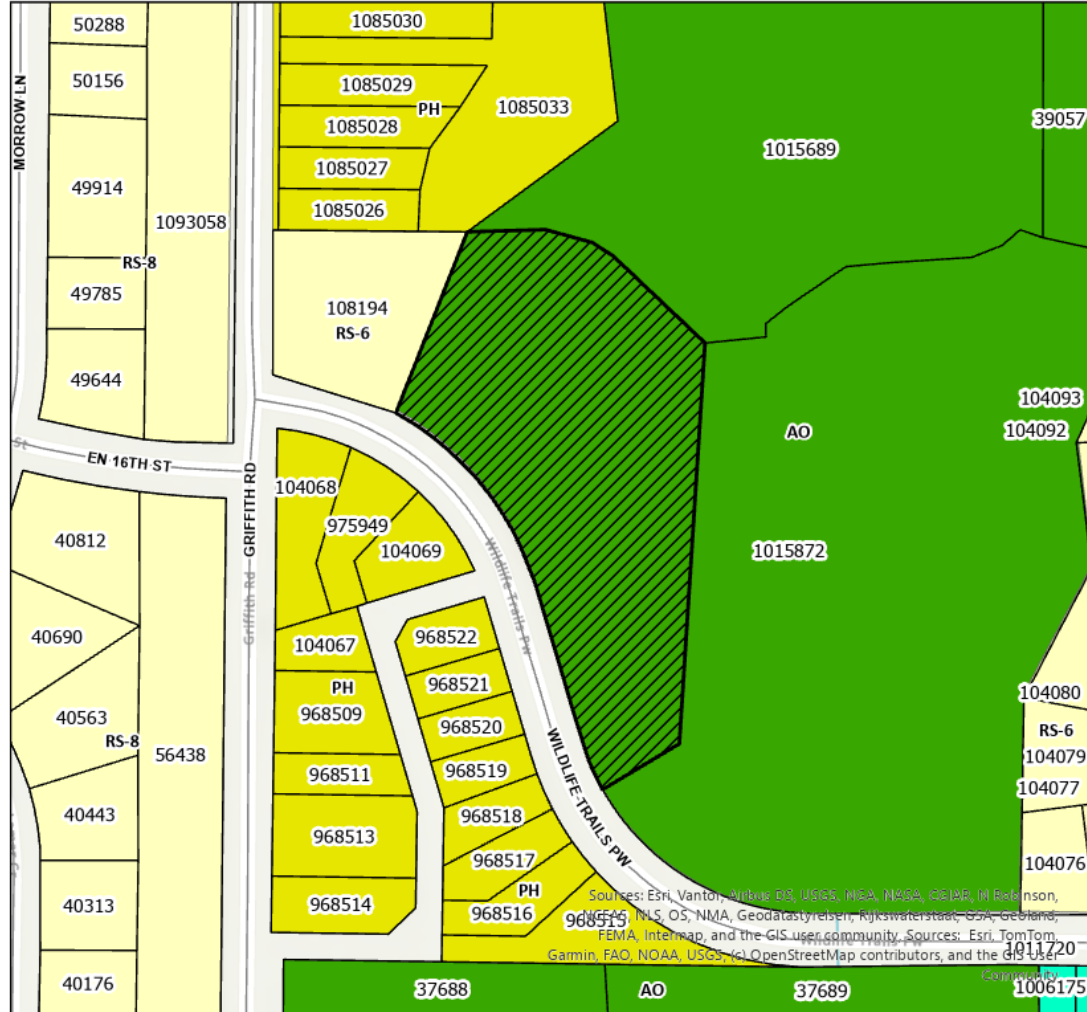
Planning & Zoning: February 3, 2026

Council Hearing: February 26, 2026
March 12, 2026





ZONING MAP



- Z-2026-06
- Zoning Districts**
- AO
 - PH
 - RS-6
 - RS-8





USES IN AGRICULTURAL OPEN ZONING

RESIDENTIAL USES:

- C Bed & Breakfast
- P Dwelling– Industrialized Housing Unit
- P Dwelling – Single-Family Detached
- C Vacation Travel Trailer Park

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P Animal Lot
- P/C Day Care Operation – Home-Based*
- P Dwelling – Accessory*
- TP Field Office or Construction Office (temporary)*
- P Freight Container*
- P Garage Sale
- P Home Occupation
- C Mobile Home (permanent security residence)
- C Mobile Home (temporary security residence)
- TP Subdivision Sales Office (temporary)
- P Swimming Pool, Private (accessory to residential use)
- P Tennis Court, Private (accessory to residential use)
- P/SE Wind Energy Conversion Systems*

CULTURAL AND RECREATIONAL USES:

- P Civic, Social, and Fraternal Organization
- P Fairgrounds/Rodeo
- C Motorized Racing
- C Recreation – Outdoors (active)
- P Recreation – Outdoors (passive)
- P Zoo

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- P Community Home
- C Correction, Detention, or Penal Facilities
- P Fire/Police Station
- C Military and Armed Forces Reserve Center
- C Sanitary Landfill

LEGEND

- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
- TP Permitted by Temporary Permit Only, Requiring Approval by Board of Adjustment

EDUCATIONAL AND RELIGIOUS USES:

- C Cemetery, Crematorium, and Mausoleum
- P Church or Place of Worship
- P School: Public/Private

SERVICE:

- C Kennel (with outdoor pens)
- P Kennel (without outdoor pens)
- P Veterinary Service (all size animals)

TRADE – RETAIL USES:

- C Liquor Store (on premises consumption) (Defined under Liquor Store)

TRANSPORTATION, COMMUNICATION AND UTILITIES:

- C Airport, Heliport and Flying Field Terminals – Commercial
- C Antenna Tower – Commercial
- P Public Utility Facility
- C Utility Generation, Production, Treatment

RESOURCE PRODUCTION AND EXTRACTION USES:

- P Farming, Ranching & Livestock, Hatchery
- C Mining
- C Petroleum or Gas Well
- P Urban Garden





USES IN RESIDENTIAL ZONING

RESIDENTIAL USES:

- C Bed & Breakfast
- C Dwelling – Duplex
- P Dwelling – Industrialized Housing Unit
- P Dwelling – Single-Family Detached
- C Group Home

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P/C Day Care Operation – Home-Based
- P Dwelling – Accessory
- TP Field Office or Construction Office (temporary)
- P Garage Sale
- P Home Occupation
- C Mobile Home (temporary security residence)
- P Recreation Building, Multipurpose
- P Recreation Equipment, Mobile (storage & parking)
- TP Subdivision Sales Office (temporary)
- P Swimming Pool, Private (accessory to residential use)
- P Tennis Court, Private (accessory to residential use)
- P/SE Wind Energy Conversion Systems

CULTURAL AND RECREATIONAL USES:

- C Civic, Social, and Fraternal Organization
- C Recreation – Outdoors (active)
- P Recreation – Outdoors (passive)

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- P Community Home
- P Fire/Police Station
- C Social Service Facility

EDUCATIONAL AND RELIGIOUS USES:

- P Church or Place of Worship
- P School: Public/Private

TRANSPORTATION, COMMUNICATION AND UTILITIES:

- P Public Utility Facility

RESOURCE PRODUCTION AND EXTRACTION USES:

- P Petroleum or Gas Well
- P Urban Garden

LEGEND

- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
- TP Permitted by Temporary Permit Only, Requiring Approval by Board of Adjustment





PROPERTY VIEWS



Subject Property



Subject Property



Northeast Neighboring Property

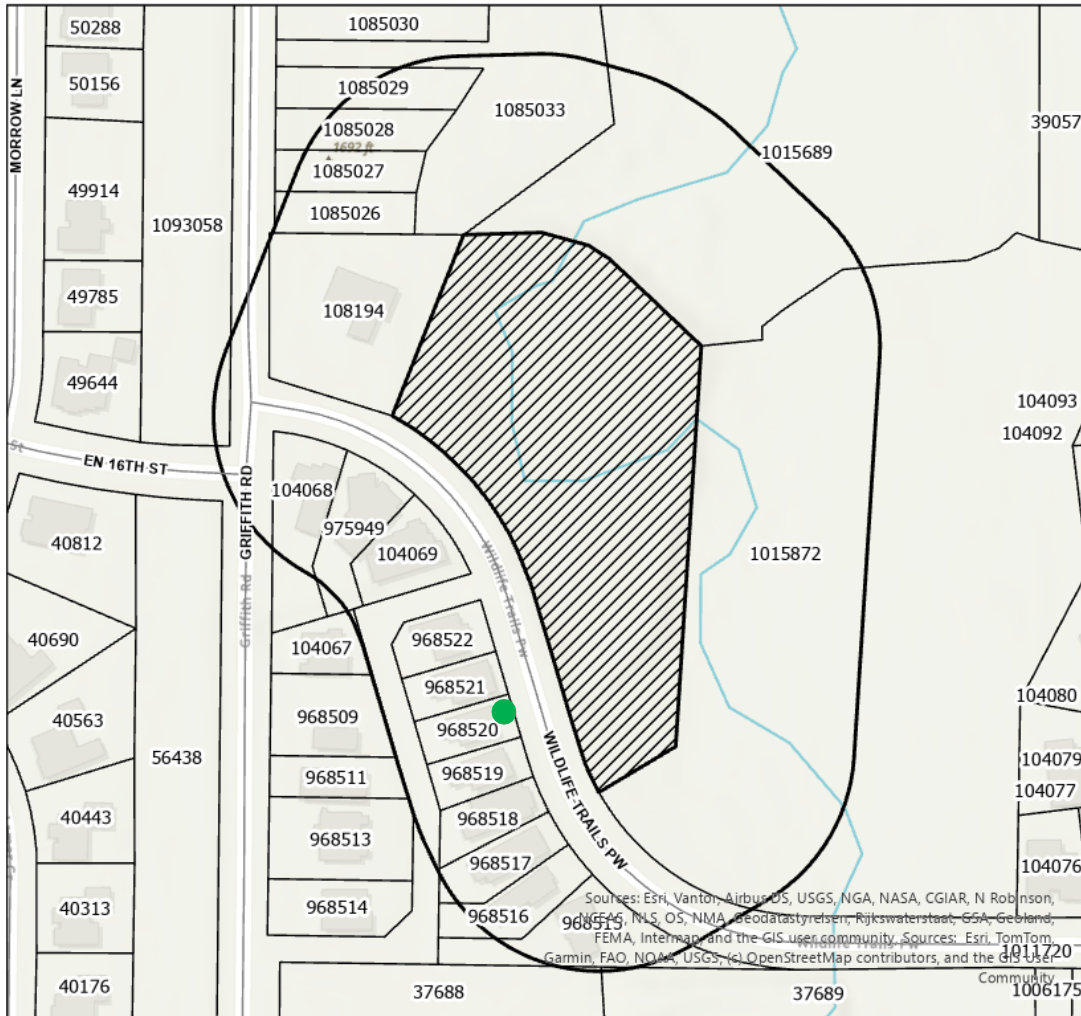


North Neighboring Property





NOTIFICATION AREA MAP



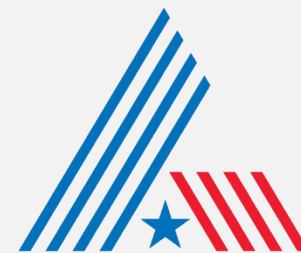
0.04

Miles

- Z-2026-06 Notification Buffer
- Z-2026-06

1 - in Favor -

0 - in Opposition -



CITY OF
ABILENE
TEXAS



FINDINGS AND RECOMMENDATIONS

The request is consistent with:

- The *Comprehensive Plan*;
- The surrounding uses and zoning;
- Generally accepted planning principals; and
- The Criteria for Approval in the LDC.

Planning and Zoning Commission Recommendation:

Approval





Questions?





**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Max Johnson, Director of Public Works

ITEM: **10. Ordinance (Final Reading): Receive a Report, Hold a Discussion and Public Hearing, and Take Action on Amending Chapter 27, "Solid Waste," Article IV, "Prohibitions," Section 27-26, "Prohibited Acts" and 27-27, "Exceptions," of the Abilene Municipal Code. *(Max Johnson)***

GENERAL INFORMATION

This proposed ordinance is to amend the language in the current Municipal Code, Chapter 27, "Solid Waste", Article IV, "Prohibitions", Sections 27-26, "Prohibited Acts", and 27-27, "Exceptions." This modified verbiage clarifies refuse collection for City employees and other civilian companies. All municipal solid waste, even when mixed with construction or demolition debris, must be collected by the City of Abilene for proper disposal.

FUNDING/FISCAL IMPACT

None

STAFF AND/OR BOARD RECOMMENDATION

Staff Recommends updating the language as depicted in the attachment.

ATTACHMENTS:

1. Resolution to Modify Section 27-26 & 27-27 - 2-17-2026
2. Sec. 27-26, -27. Prohibited acts redline
3. Sec. 27-26, -27. Prohibited acts blackline -- 2-17-2026
4. PP_Ordinance Chapter 27 Article IV Modification - 2-2-2026

BACKUP DOCUMENTATION UPDATED? No

UPDATED ON:

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS, MODIFYING CHAPTER 27, ARTICLE IV, SECTIONS 27-26 AND 27-27 AS SET OUT BELOW;

WHEREAS, there is a need to amend the City Code of Ordinance to implement changes to Chapter 27, Article IV, Sections 27-26 and 27-27.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS

PART 1: That Chapter 27, Article IV, “Prohibitions,” Sections 27-26 and 27-27 of the Abilene Code of Ordinance be amended as set out in Exhibit “A”, attached hereto and made a part of this ordinance for all purposes.

PART 2: That if any provisions of any section of this ordinance shall be held to be void or unconstitutional, such holding shall in no way effect the validity of the remaining provisions or sections of this ordinance, which shall remain in full force or effect.

PART 3: That any persons violating any of the provisions of this Ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be punishable by a fine in accordance with Chapter 1 (Section 1-9) of this Code. Said Ordinance, being a penal ordinance, becomes effective ten (10) days after its publication in the newspaper, as provided by Section 19 of the Charter of the City of Abilene.

PASSED ON FIRST READING this 12th day of February 2026.

A notice of the time and place, where and when said ordinance would be given a public hearing and considered for final passage was published in the Abilene Reporter-News, a daily newspaper of general circulation in the City of Abilene, said publication being on the 22nd day of February, 2026, the same being more than 24 hours prior to a public hearing being held in the Council Chamber of City Hall in Abilene, Texas, at 8:30 a.m. on the 26th day of February, 2026, to permit the public to be heard.

PASSED ON SECOND AND FINAL READING this 26th day of February 2026.

ATTEST:

CITY SECRETARY

MAYOR

APPROVED:

CITY ATTORNEY

Exhibit A

Sec. 27-26. Prohibited acts.

The following items, condition, or actions are hereby declared to be prohibited under this chapter and are therefore unlawful. Waste prohibited for collection shall be disposed of directly, promptly and properly in an approved and legal location by the occupant of the premises where such material is accumulated. Removal of bulky/uncontained items prohibited from placement in collection containers may be provided at rates listed in the "schedule of rates and charges" for the Solid Waste Services Division. This list shall not be deemed or construed to be conclusive, limiting or restrictive:

- (1) No person, business, or entity, except a duly authorized employee or agent of the City, shall collect municipal solid waste from a third-party, individual, or business.
- (2) No person other than a duly authorized employee or agent of the City shall empty City-owned solid waste or recycling collection containers.
- (3) The following items shall NOT be placed in any collection container:
 - a. Tires, oil, oil filters, lead acid batteries, commercial pesticides for residential use, liquid mercury as contained in thermometers and mercury switches and any waste that is not permitted to be landfilled by the US Environmental Protection Agency or the Texas Commission on Environmental Quality. These regulated items shall be disposed of at the household hazardous waste unit in the environmental recycling center or as allowed by related programs.
 - b. Hazardous waste, special waste and industrial waste.
 - c. Medical waste not properly treated or contained.
 - d. Needles/sharps improperly contained that constitute a sticking hazard.
- (4) The following items shall NOT be placed in residential collection containers:
 - a. Dead animals.
 - b. Major construction and demolition waste.
 - c. Any solid waste items likely to damage City collection equipment including, but not limited to, rocks, engine blocks, steel, and lead pipes.
 - d. Unbagged leaves, grass clippings, shrubbery trimmings, and tree prunings.
 - e. Large tree stumps with root balls.
 - f. Tree trunks greater than six (6) inches in diameter and eighteen (18) inches in length or of a bulk weight of more than fifty (50) pounds.
 - g. Any items defined as bulky waste in section 27-5.
- (5) No person shall place, or permit another to place, any municipal solid waste in any solid waste collection container unless the solid waste is from the premises served by the collection container.
- (6) No person shall off-load municipal solid waste at an unauthorized location or at a facility not authorized to accept such waste.
- (7) No person shall park in such a manner that would interfere with the collection of municipal solid waste from any collection container serviced by the Solid Waste Services Division. Blocked collection containers will not be emptied.

- (8) On the day of normally scheduled municipal solid waste collection, the parking of a vehicle or trailer perpendicular or diagonal to a curb within a cul-de-sac with roll-out collection service, shall be considered an obstruction to the removal of solid waste from a solid waste collection container, and the collection container will not be emptied.

(Ord. No. 10-2007, pt. 1(Exh. A), 2-22-07)

Sec. 27-27. Exceptions.

- (1) This Article shall not prohibit any occupant from removing solid waste from the premises under their control to an approved landfill or recycling site.
- (2) This Article shall not apply to a permitted hauler of recyclable material collecting recyclable material in accordance with Article VI. This exception shall not apply if a permitted hauler of recyclable material is also collecting municipal solid waste.
- (3) This Article shall not apply to a person, business, or entity collecting construction or demolition debris from a third-party. This exception shall not apply if a person, business, or entity is also collecting municipal solid waste.

(Ord. No. 10-2007, pt. 1(Exh. A), 2-22-07)

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The following items, condition, or actions are hereby declared to be prohibited under this chapter and are therefore unlawful. Waste prohibited for collection shall be disposed of directly, promptly and properly in an approved and legal location by the occupant of the premises where such material is accumulated. Removal of bulky/uncontained items prohibited from placement in collection containers may be provided at rates listed in the "schedule of rates and charges" for the Solid Waste Services Division. This list shall not be deemed or construed to be conclusive, limiting or restrictive:

- (1) ~~No person, business, or entity, except a duly authorized employee or agent of the City, shall collect municipal solid waste from a third-party, individual, or business. No person other than a duly authorized employee of the City or law enforcement official acting within the official scope of duties shall collect or remove any solid waste or recyclable material from a solid waste collection container used for municipal solid waste or recycling collection.~~
- (2) No person other than a duly authorized employee or agent of the City shall empty City-owned solid waste or recycling collection containers.
- (3) The following items shall NOT be placed in any collection container:
 - a. Tires, oil, oil filters, lead acid batteries, commercial pesticides for residential use, liquid mercury as contained in thermometers and mercury switches and any waste that is not permitted to be landfilled by the US Environmental Protection Agency or the Texas Commission on Environmental Quality. These regulated items shall be disposed of at the household hazardous waste unit in the environmental recycling center or as allowed by related programs.
 - b. Hazardous waste, special waste and industrial waste.
 - c. Medical waste not properly treated or contained.
 - d. Needles/sharps improperly contained that constitute a sticking hazard.
- (4) The following items shall NOT be placed in residential collection containers:
 - a. Dead animals.
 - b. Major construction and demolition waste.
 - c. Any solid waste items likely to damage City collection equipment including, but not limited to, rocks, engine blocks, steel, and lead pipes.
 - d. Unbagged leaves, grass clippings, shrubbery trimmings, and tree prunings.
 - e. Large tree stumps with root balls.
 - f. Tree trunks greater than six (6) inches in diameter and eighteen (18) inches in length or of a bulk weight of more than fifty (50) pounds.
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- (5) No person shall place, or permit another to place, any municipal solid waste in any solid waste collection container unless the solid waste is from the premises served by the collection container.
- (6) No person shall off-load municipal solid waste at an unauthorized location or at a facility not authorized to accept such waste.
- (7) No person shall park in such a manner that would interfere with the collection of municipal solid waste from any collection container serviced by the Solid Waste Services Division. Blocked collection containers will not be emptied.

-
- (8) On the day of normally scheduled municipal solid waste collection, the parking of a vehicle or trailer perpendicular or diagonal to a curb within a cul-de-sac with roll-out collection service, shall be considered an obstruction to the removal of solid waste from a solid waste collection container, and the collection container will not be emptied.

(Ord. No. 10-2007, pt. 1(Exh. A), 2-22-07)

Sec. 27-27. Exceptions.

- (1) This ~~Article~~section shall not prohibit any occupant from removing solid waste from the premises under their control to an approved landfill or recycling site.
- (2) This Article shall not apply to a permitted hauler of recyclable material collecting recyclable material in accordance with Article VI. This exception shall not apply if a permitted hauler of recyclable material is also collecting municipal solid waste.
- (3) This Article shall not apply to a person, business, or entity collecting construction or demolition debris from a third-party. This exception shall not apply if a person, business, or entity is also collecting municipal solid waste.

(Ord. No. 10-2007, pt. 1(Exh. A), 2-22-07)

Sec. 27-26. Prohibited acts.

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considered an obstruction to the removal of solid waste from a solid waste collection container, and the collection container will not be emptied.

(Ord. No. 10-2007, pt. 1(Exh. A), 2-22-07)

Sec. 27-27. Exceptions.

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- (3) This Article shall not apply to a person, business, or entity collecting construction or demolition debris from a third-party. This exception shall not apply if a person, business, or entity is also collecting municipal solid waste.

(Ord. No. 10-2007, pt. 1(Exh. A), 2-22-07)

Ordinance: Amending Abilene Code of Ordinance Chapter 27, Article IV, Sections 27-26 and 27-27

Max Johnson





Ordinance: Amending Abilene Code of Ordinance Chapter 27, Article IV, Sections 27-26 and 27-27

- Modifies existing Code of Ordinance Chapter 27, Article IV, Sections 27-26 and 27-27 as shown in the proposed language.
- Provides clarification for collection of Municipal Solid Waste
 - City services has sole responsibility for collection and proper disposal for Municipal Solid Waste
 - Exceptions include recycling material and construction/demolition debris if not mixed with municipal solid waste.





Questions?





**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Tim Littlejohn, Director of Planning & Development Services
ITEM: 11. Ordinance (Final Reading): Z-2026-02: Receive a Report, Hold a Discussion and Public Hearing, and Take Action on a Request from the Owner to Change the Zoning of Approximately 3.65 Acres from Planned Development District (PDD-116) to General Commercial (GC) Zoning. Located at 2002 Jameson Street. (Tim Littlejohn)

GENERAL INFORMATION

The owner would like to rezone the property to General Commercial to allow new uses for the property. The existing Planned Development District is restrictive and does not permit some commercial uses by right.

FUNDING/FISCAL IMPACT

STAFF AND/OR BOARD RECOMMENDATION

The Planning and Zoning Commission recommends approval by a vote of 7-0.

ATTACHMENTS:

1. Ordinance
2. Staff Report
3. Presentation

BACKUP DOCUMENTATION UPDATED? No

UPDATED ON:

AN ORDINANCE OF THE CITY OF ABILENE, TEXAS, AMENDING THE "LAND DEVELOPMENT CODE" OF THE ABILENE CITY CODE, BY CHANGING THE ZONING DISTRICT BOUNDARIES AFFECTING A CERTAIN PROPERTY; CALLING A PUBLIC HEARING; PROVIDING A PENALTY AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS:

PART 1: That Chapter 2 (Zoning Regulations) of the Land Development Code of the City of Abilene, is hereby amended by changing the zoning district boundaries as set out in Exhibit A, attached hereto and made a part of this ordinance for all purposes.

PART 2: That any person, firm or corporation violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor, and upon conviction thereof, shall be punished by a fine of not more than Two Thousand Dollars (\$2,000.00). Each day such violation shall continue or be permitted to continue, shall be deemed a separate offense.

PART 3: That the Planning Director be, and is hereby authorized and directed to change the official Zoning Map of the City of Abilene to correctly reflect the amendments thereto.

PASSED ON FIRST READING the 12th day of February, 2026.

A notice of the time and place, where and when said ordinance would be given a public hearing and considered for final passage, was published in the *Abilene Reporter-News*, a daily newspaper of general circulation in the City of Abilene, said publication being on the 16th day of January, 2026, the same being more than fifteen (15) days prior to a public hearing held in the Council Chamber of the City Hall in Abilene, Texas, at 8:30 a.m. on the 26th day of February, 2026, to permit the public to be heard prior to final consideration of this ordinance. Said ordinance, being a penal ordinance, becomes effective ten (10) days after its publication in the newspaper, as provided by Section 19 of the Charter of the City of Abilene.

PASSED ON FINAL READING THIS 26th day of February, 2026.

ATTEST:

CITY SECRETARY

MAYOR

APPROVED:

CITY ATTORNEY

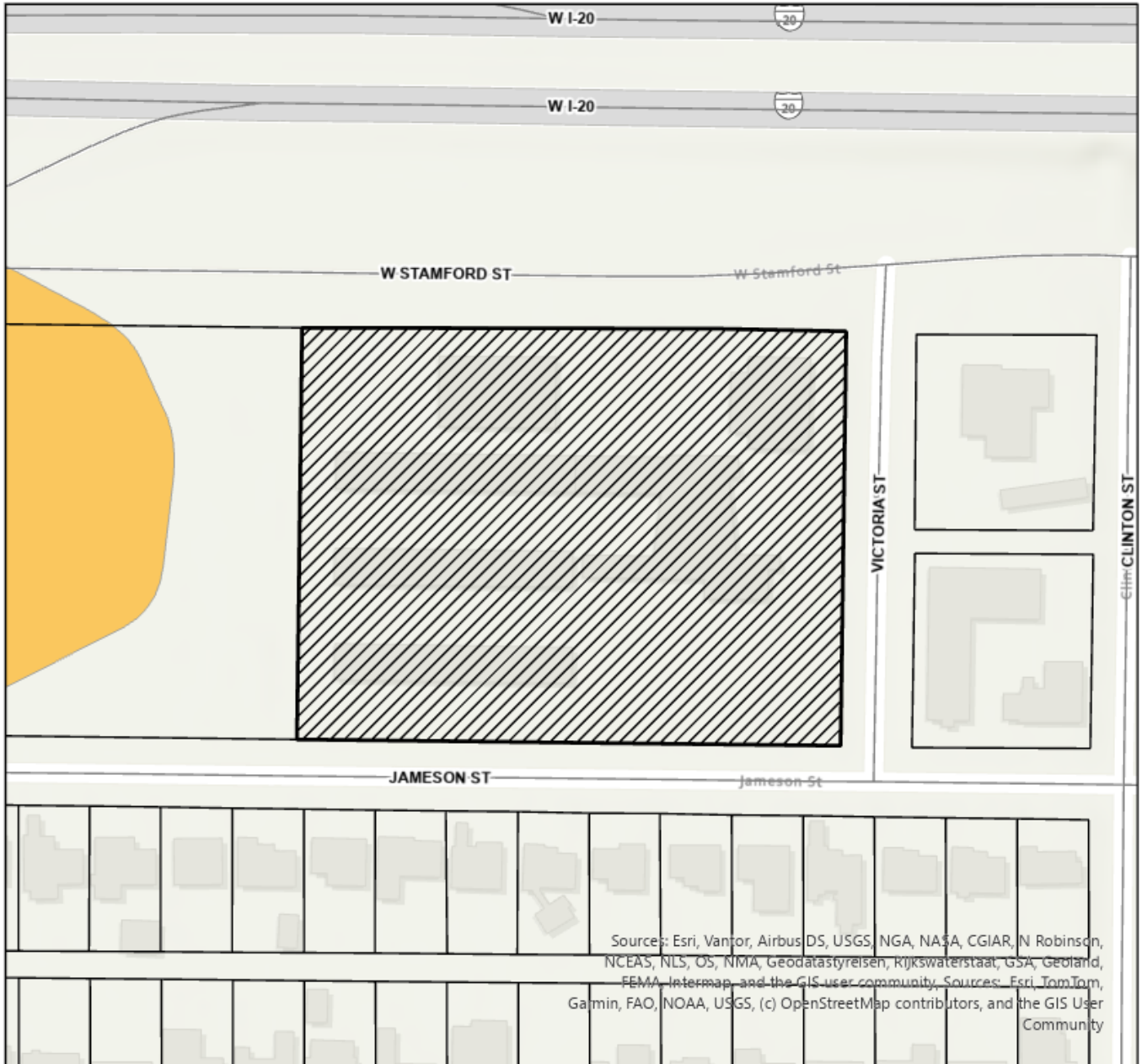
EXHIBIT A

Change the zoning of approximately 3.65 acres from Planned Development District (PDD-116) to General Commercial (GC).

Legal description as follows:

QT 7904 Addn, Block A, Lot 2

Located at 2002 Jameson St.



END

ZONING CASE

Z-2026-02

STAFF REPORT



Scheduled Hearings

Planning & Zoning Commission: February 3, 2026
 City Council 1st Reading: February 12, 2026
 City Council 2nd Reading: February 26, 2026

Applicant

Owner: Hit Ventures, LLC

Case Manager

Adam Holland – Planner

Request

Change the zoning of approximately 3.65 acres from Planned Development District (PDD-116) to General Commercial (GC).

Location

Located at 2002 Jameson St.

Background

The owner would like to rezone the property to General Commercial to allow new uses for the property. The existing Planned Development District is restrictive and does not permit some commercial uses by right.

Zoning, Existing and Proposed Land Use

	Zoning	Existing Land Use
North	HC	Retail Sales – outdoors non-vehicle
East	RS-6	Vacant/Church
South	RS-6	Single-Family Residences
West	PDD-116	Convenience Store

Criteria Assessment

Section 1.4.1.4 of Abilene’s Land Development Code states that, in making a determination regarding a requested zoning change, the Planning and Zoning Commission and the City Council may consider the following factors:

- (1) Whether the proposed zoning map amendment implements the policies of the adopted Comprehensive Plan, including the land use classification of the property on the Future Land Use and Development Plan Map, as amended.**

The proposed use is consistent with the Comprehensive Plan.

- (2) Whether the uses permitted by the proposed change in zoning classification and the standards applicable to such uses will be appropriate in the immediate area of the land to be reclassified.**

The proposed zoning would be appropriate in the immediate area.

(3) Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other public services and utilities to the area.

All services are provided.

(4) Any other factors, which will substantially affect the public health, safety, morals, or general welfare.

None known.

Planning and Zoning Commission Recommendation

P&Z recommends **approval**.

Attachments

- PowerPoint Presentation
- Application

Notification

Pursuant to Section 1.2.2.2 of the Land Development Code, City staff mailed personal notices on December 19, 2025, via standard mail to the owners of property within a 200-foot radius of the subject street right of way. The property owners and associated parcel identification numbers are identified below:

PROPERTY OWNER

Legend: O - Opposed, F - In Favor

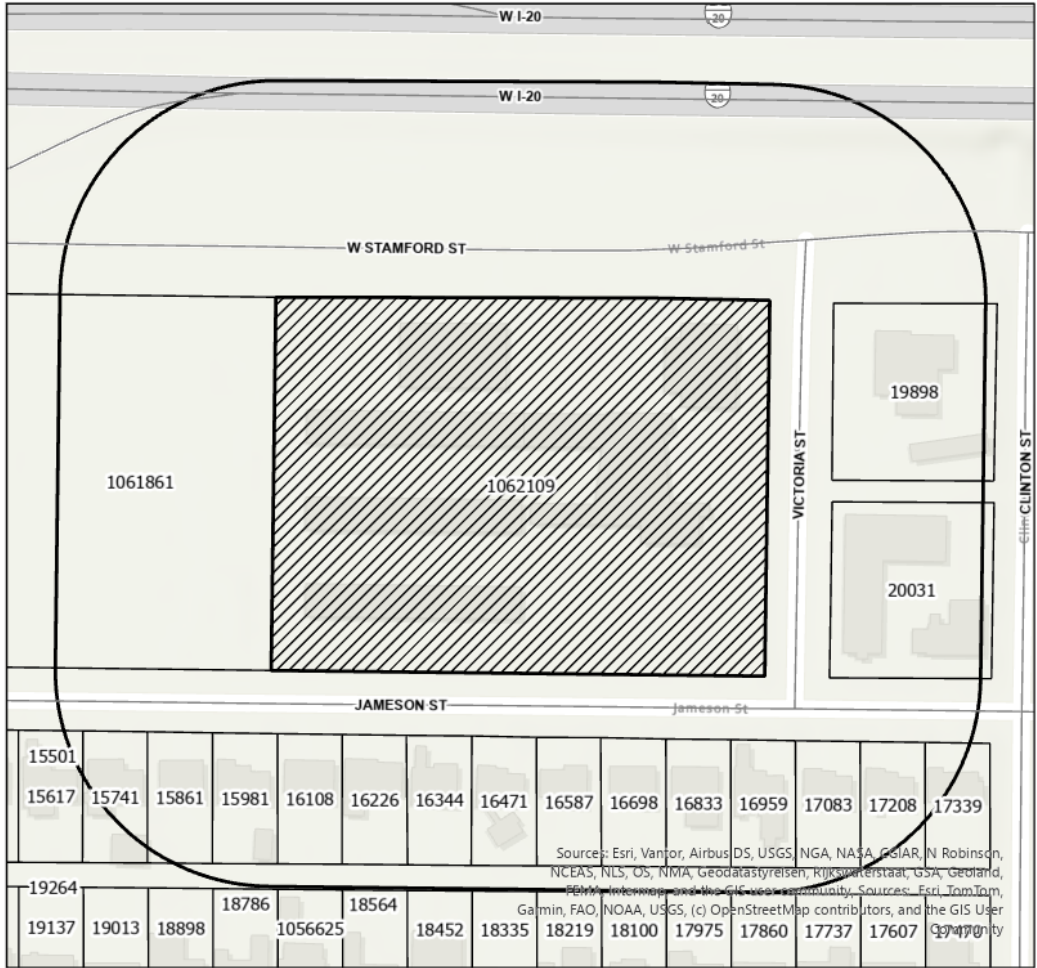
OWNER	PROP_ID	SITUS	RESPONSE
BENNETT MELISSA A	17083	1917 JAMESON ST	
BUCHALLA NORMAN DALE LIFE EST &	16959	1925 JAMESON ST	
COOPER SHIRLEY J MYERS	16471	1957 JAMESON ST	
DAWKINS MILES A	15741	2041 JAMESON ST	
DULANEY DEANNE J	17339	1901 JAMESON ST	
HIT VENTURES LLC	1062109	2002 JAMESON ST BLDG E	
JGN PROPERTIES LLC SERIES B	16833	1933 JAMESON ST	
LYALL DANIEL &	16587	1949 JAMESON ST	
MARTIN JACKIE G JR	15861	2033 JAMESON ST	
MARTIN PAUL G LF EST	15981	2025 JAMESON ST	
MARTINEZ VELIA RODRIGUEZ	15617	2049 JAMESON ST	
MC KEEVER SANDRA KAY	16698	1941 JAMESON ST	
NIETO JESSE JR	16344	2001 JAMESON ST	
NIETO MELANIE MARIE	16108	2017 JAMESON ST	
NORTH PARK ASSEMBLY OF GOD CHURCH	19898	1909 W STAMFORD ST	
QT SOUTH LLC	1061861	3217 OLD ANSON RD	
SNEARLY TOM	17208	1909 JAMESON ST	
SUAREZ DANIELA	16226	2009 JAMESON ST	

PROPERTY ID

Legend: O - Opposed, F - In Favor

OWNER	PROP_ID	SITUS	RESPONSE
MARTINEZ VELIA RODRIGUEZ	15617	2049 JAMESON ST	
DAWKINS MILES A	15741	2041 JAMESON ST	
MARTIN JACKIE G JR	15861	2033 JAMESON ST	
MARTIN PAUL G LF EST	15981	2025 JAMESON ST	
NIETO MELANIE MARIE	16108	2017 JAMESON ST	
SUAREZ DANIELA	16226	2009 JAMESON ST	
NIETO JESSE JR	16344	2001 JAMESON ST	
COOPER SHIRLEY J MYERS	16471	1957 JAMESON ST	
LYALL DANIEL & MC KEEVER SANDRA KAY	16587 16698	1949 JAMESON ST 1941 JAMESON ST	
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QT SOUTH LLC	1061861	3217 OLD ANSON RD	
HIT VENTURES LLC	1062109	2002 JAMESON ST BLDG E	

NOTIFICATION MAP

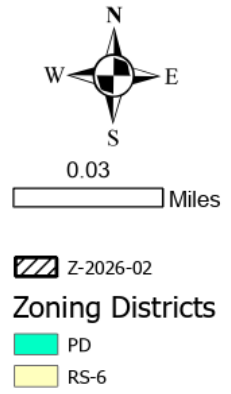
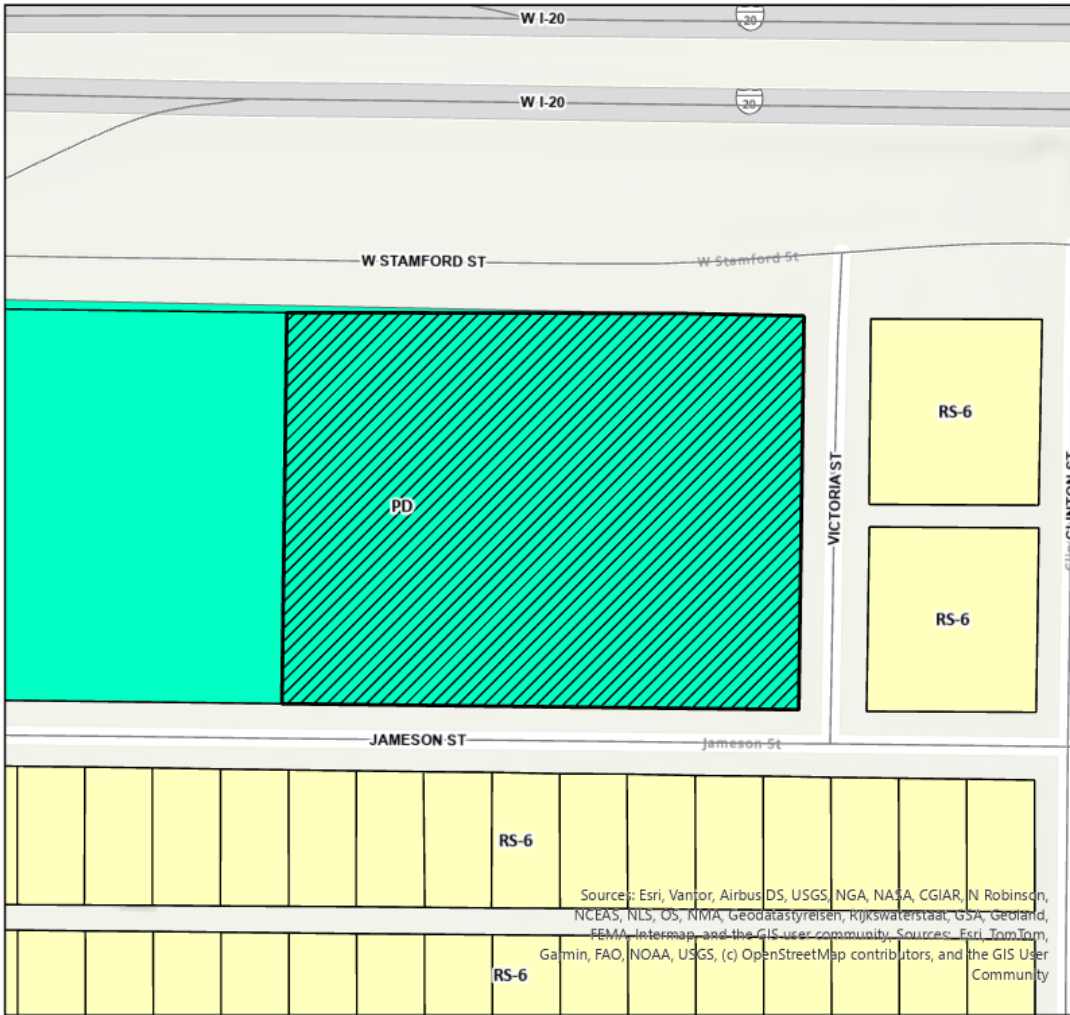


0.03
Miles

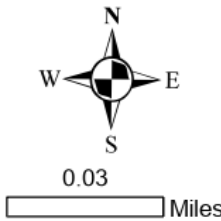
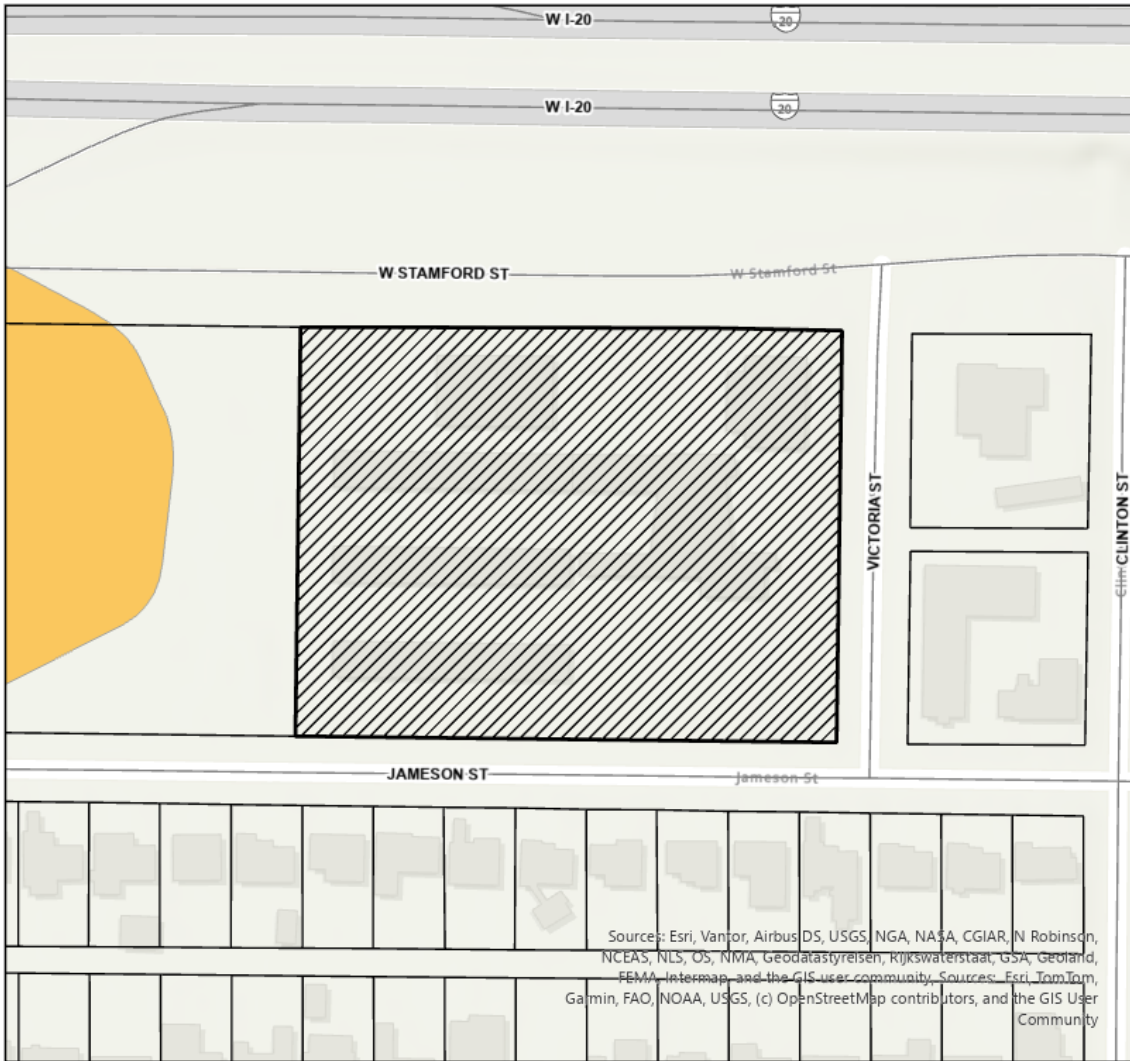
Z-2026-02 Notification Buffer
 Z-2026-02

Source: Esri, Vantor, Airbus DS, USGS, NGA, NASA, ESA, IN Robins, NCEAS, NLS, OS, NIMA, Geodatasystemen, Rijkswaterstaat, USA, Geoland, FEMA, Intermap and the GIS User Community. Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community

ZONING MAP



FLOOD MAP



- Z-2026-02
- FEMA Flood Zones**
- Floodway
 - 100 Year 1%
 - 500 Year .2%
 - Unstudied A Zone
 - Floodway
 - 100 Year 1%
 - 500 Year .2%
 - Unstudied A Zone



REZONE REQUEST

Case: Z-2026-02

Owner: Hit Ventures, LLC

Request: Change the zoning of approximately 3.65 acres from Planned Development District (PDD-116) to General Commercial

Location: 2002 Jameson St.

Notification: 0 in Favor, 0 in Opposition

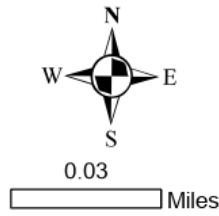
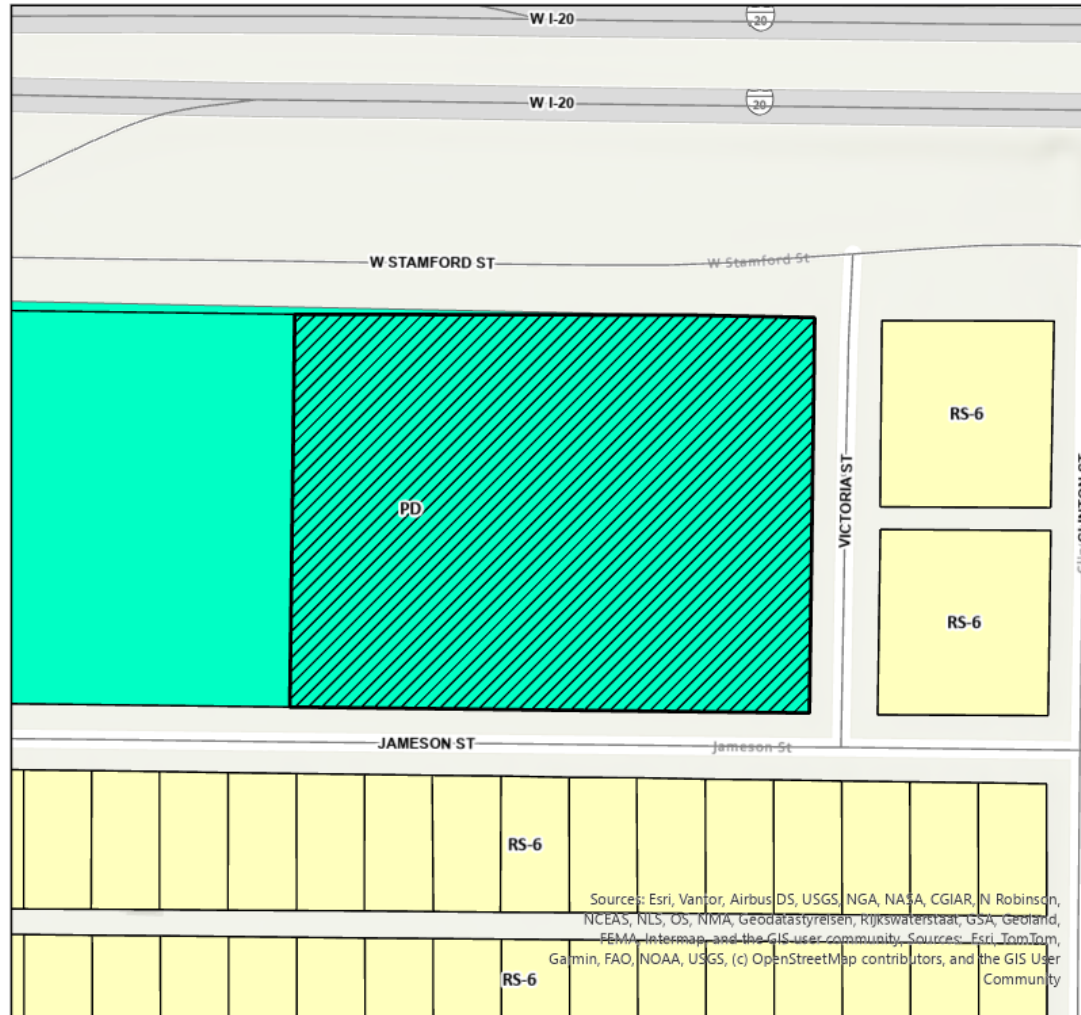
Planning & Zoning: February 3, 2026

Council Hearing: February 12, 2026
February 26, 2026



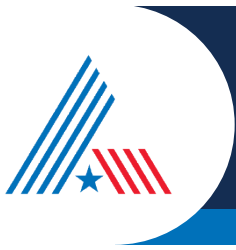


ZONING MAP



- Zoning Districts**
- Z-2026-02
 - PD
 - RS-6





PROPERTY VIEWS



Subject Property



Subject Property



North Neighboring Property



North Neighboring Property



East Neighboring Property





USES IN GENERAL COMMERCIAL ZONING

RESIDENTIAL USES:

- P Hotel/Motel
- C Vacation Travel Trailer Park

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P Drive-Thru Facility
- TP Field Office or Construction Office (temporary)
- C Freight Container
- P Fuel Sales
- TP Itinerant Business
- P Manufacturing (incidental)
- C Mobile Home (permanent security residence)
- TP Mobile Home (temporary security residence)
- C Mobile Home or Temporary Building (office for sales and service)
- P Recycling Collection Point
- C Travel Trailers (accessory to hospitals)
- P/SE Wind Energy Conversion Systems

CULTURAL AND RECREATIONAL USES:

- P Civic, Social, and Fraternal Organization
- P Cultural Facilities
- P Drive-in Theater
- P Recreation – Outdoors (active)
- P Recreation – Outdoors (passive)
- P Recreation and Commercial Entertainment – Indoor

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- P Ambulance Service
- P Fire/Police Station
- C Homeless/Emergency Shelter
- P Hospital
- P Medical/Dental Laboratory
- P Post Office
- C Rehabilitation Facility
- P Social Service Facility

EDUCATIONAL AND RELIGIOUS USES:

- P Arts School
- C Cemetery, Crematorium, and Mausoleum
- P Church or Place of Worship
- P Day-Care Operation - Center-Based
- P Educational and Scientific Research
- P School: Public/Private
- P Trade/Business School
- P University/College

SERVICE:

- P/C Automobile Wash
- C Contractor Services
- P Funeral Home/ Mortuary/Morgue
- C Kennel (With Outdoor Pens)
- P Kennel (Without Outdoor Pens)
- P Laundry, Dry Cleaning, Dyeing, and Linen Service (no retail customers)
- P Laundry/Dry Cleaning Services & Facilities
- P Office (general, professional, financial)
- P Personal Services
- P Printing, Copying, Reproduction, Publishing
- C Recycling Collection and Processing Center
- P Repair and Maintenance Services - Automobile/Small Truck (major)
- P Repair and Maintenance Services - Automobile/Small Truck (minor)
- P Repair and Maintenance Services (indoor)
- C Repair and Maintenance Services (outdoors)
- P Storage - Self-Service Units
- P Tattoo Parlor
- P Taxidermist
- P Veterinary Service (small animals)

RESOURCE PRODUCTION AND EXTRACTION USES:

- P Petroleum or Gas Well
- P Urban Garden

TRADE – WHOLESALE USES:

- C Wholesaling and Storage (indoor)

TRADE – RETAIL USES:

- C Aircraft and Accessories
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P Fuel Sales
- P Liquor Store (Off Premises Consumption) (*Defined under Liquor Store*)
- P Liquor Store (On Premises Consumption) (*Defined under Liquor Store*)
- P Restaurant, Brew Pub
- P Restaurant, Fast Food
- P Restaurant, Standard
- P Retail Sales/Rental (automobile/small truck)
- P Retail Sales/Rental (indoor)
- P Retail Sales/Rental (outdoors, non-vehicle)
- C Retail Sales/Rental (trucks and other large vehicles and equipment)

TRANSPORTATION, COMMUNICATION AND UTILITIES:

- C Antenna Tower - Commercial
- P Automobile Parking Lot or Structure - Commercial
- P Broadcast Studio
- P Passenger Ground Transportation Terminal
- P Pressure Control Station
- P Public Utility Facility

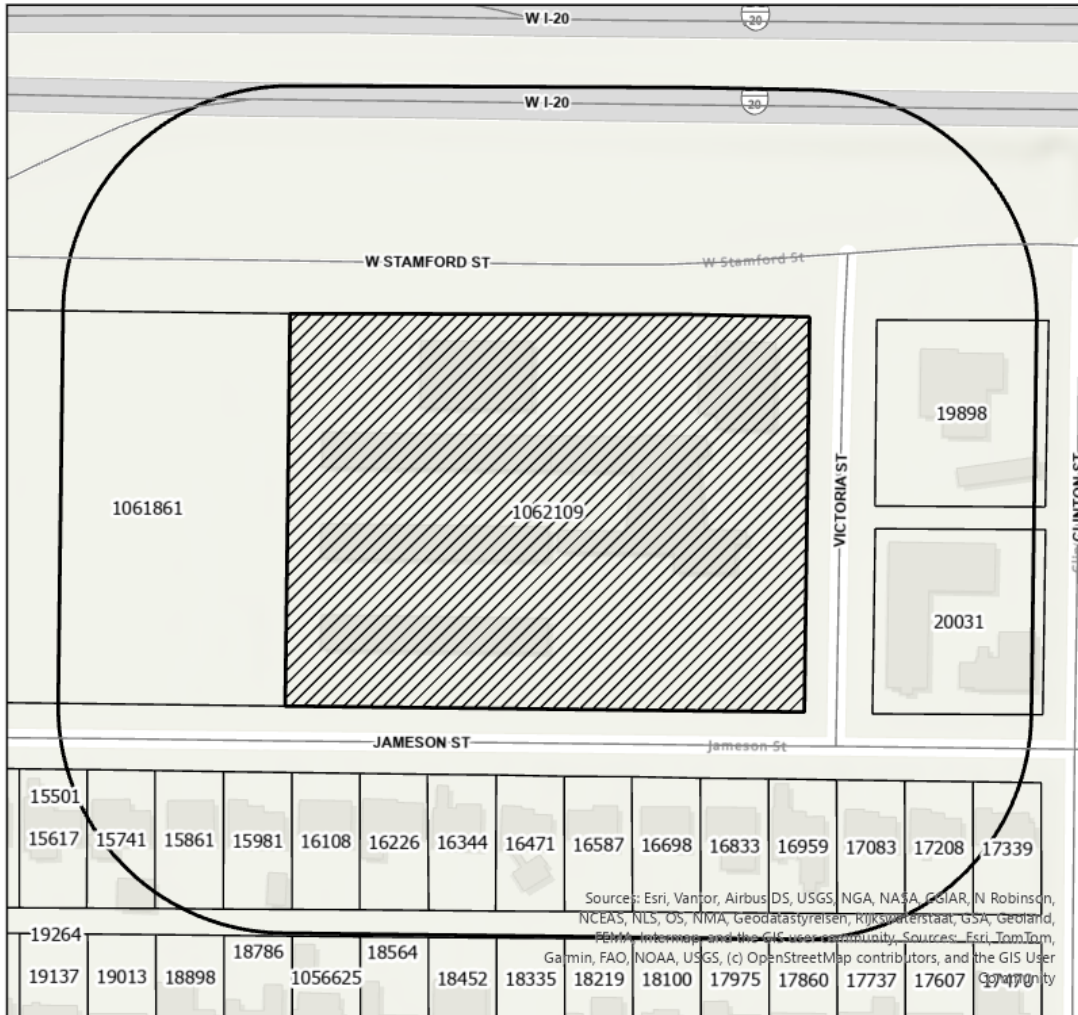
LEGEND

- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
- TP Permitted by Temporary Permit Only, Requiring Approval by Board of Adjustment









NOTIFICATION AREA MAP



0.03
Miles

-  Z-2026-02 Notification Buffer
-  Z-2026-02

- 0 - in Favor - 
- 0 - in Opposition - 





FINDINGS AND RECOMMENDATIONS

The request is consistent with:

- The *Comprehensive Plan*;
- The surrounding uses and zoning;
- Generally accepted planning principals; and
- The Criteria for Approval in the LDC.

Planning and Zoning Commission Recommendation:

Approval





Questions?





**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Tim Littlejohn, Director of Planning & Development Services
ITEM: **12. Ordinance (Final Reading) Z-2026-07: Receive a Report, Hold a Discussion and Public Hearing, and Take Action on a Request from the Owner to Change the Zoning of Approximately 3.87 Acres from General Retail (GR) to Light Industrial (LI) Zoning. Located at 5601 Memorial Dr. (*Tim Littlejohn*)**

GENERAL INFORMATION

The property has remained vacant since their annexation in 1978. The applicant has indicated that the purpose of the rezoning request is to facilitate the relocation of a pharmacy currently operating on Windmill Cr. The pharmacy's specific operations require the property to be rezoned to Light Industrial (LI).

FUNDING/FISCAL IMPACT

STAFF AND/OR BOARD RECOMMENDATION

The Planning and Zoning Commission recommends approval by a vote of 7-0.

ATTACHMENTS:

1. Ordinance
2. Staff Report
3. 24 Windmill Cr - Opposed
4. Presentation

BACKUP DOCUMENTATION UPDATED? No

UPDATED ON:

AN ORDINANCE OF THE CITY OF ABILENE, TEXAS, AMENDING THE "LAND DEVELOPMENT CODE" OF THE ABILENE CITY CODE, BY CHANGING THE ZONING DISTRICT BOUNDARIES AFFECTING A CERTAIN PROPERTY; CALLING A PUBLIC HEARING; PROVIDING A PENALTY AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ABILENE, TEXAS:

PART 1: That Chapter 2 (Zoning Regulations) of the Land Development Code of the City of Abilene, is hereby amended by changing the zoning district boundaries as set out in Exhibit A, attached hereto and made a part of this ordinance for all purposes.

PART 2: That any person, firm or corporation violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor, and upon conviction thereof, shall be punished by a fine of not more than Two Thousand Dollars (\$2,000.00). Each day such violation shall continue or be permitted to continue, shall be deemed a separate offense.

PART 3: That the Planning Director be, and is hereby authorized and directed to change the official Zoning Map of the City of Abilene to correctly reflect the amendments thereto.

PASSED ON FIRST READING the 12th day of February, 2026.

A notice of the time and place, where and when said ordinance would be given a public hearing and considered for final passage, was published in the *Abilene Reporter-News*, a daily newspaper of general circulation in the City of Abilene, said publication being on the 16th day of January, 2026, the same being more than fifteen (15) days prior to a public hearing held in the Council Chamber of the City Hall in Abilene, Texas, at 8:30 a.m. on the 26th day of February, 2026, to permit the public to be heard prior to final consideration of this ordinance. Said ordinance, being a penal ordinance, becomes effective ten (10) days after its publication in the newspaper, as provided by Section 19 of the Charter of the City of Abilene.

PASSED ON FINAL READING THIS 26th day of February, 2026.

ATTEST:

CITY SECRETARY

MAYOR

APPROVED:

CITY ATTORNEY

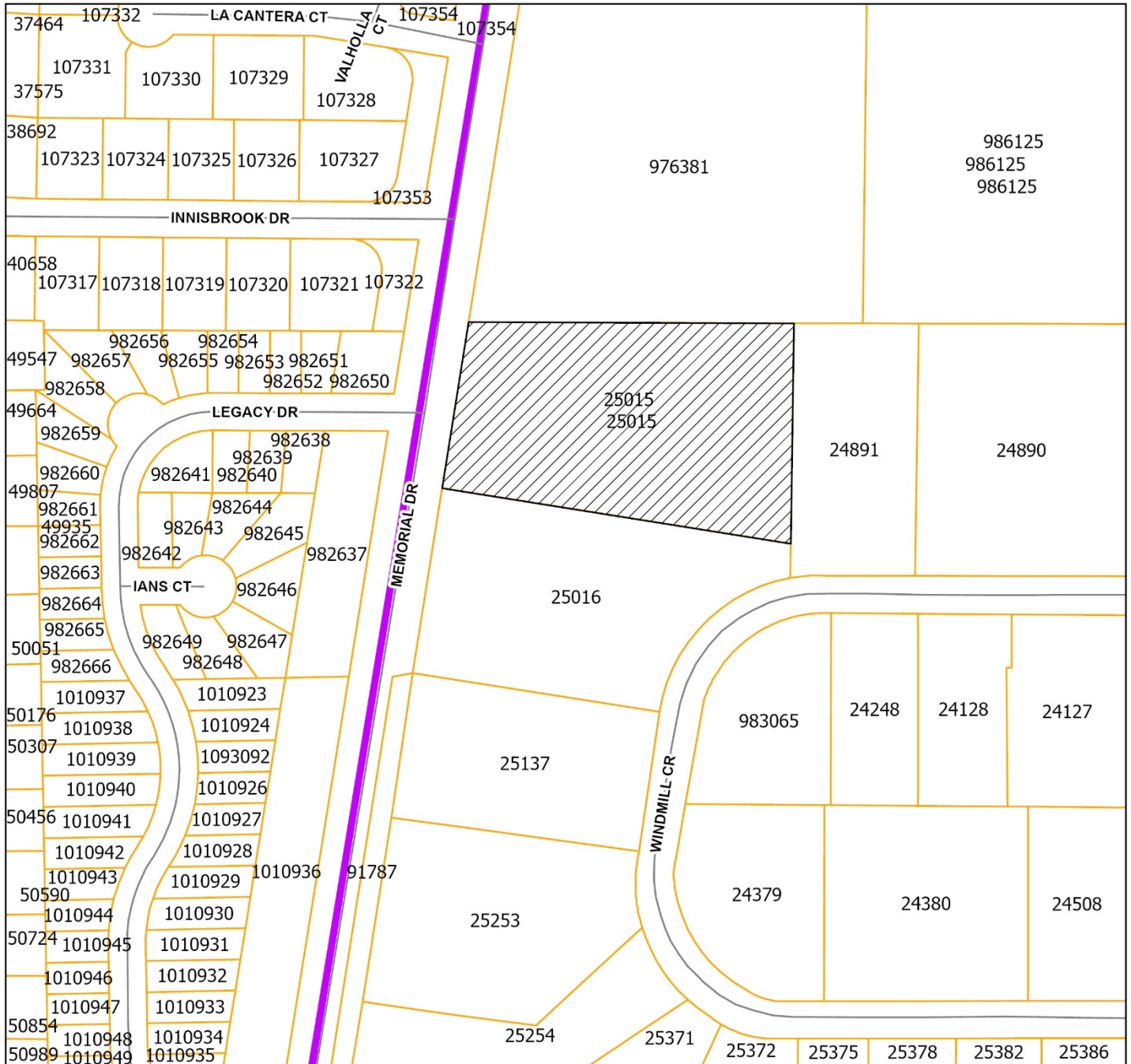
EXHIBIT A

Change the zoning of approximately 3.87 acres from General Retail (GR) to Light Industrial (LI)

Legal description as follows:

Lot 304, Block B, Windmill Acres

5601 Memorial Dr.



END

ZONING CASE

Z-2026-07

STAFF REPORT



Scheduled Hearings

Planning & Zoning Commission: February 3, 2026
 City Council 1st Reading: February 12, 2026
 City Council 2nd Reading: February 26, 2026

Applicant

Owner: Windmill Circle Apartments, LLC
 Agent: Clint Rosenbaum

Case Manager

Clarissa Ivey – Planner

Request

Change the zoning of approximately 3.87 acres from General Retail (GR) to Light Industrial (LI).

Location

Located at 5601 Memorial Dr. Legal description being Lots 304, Block B, Windmill Acres, Abilene, Taylor County, Texas.

Background

The property has remained vacant since their annexation in 1978. The applicant has indicated that the purpose of the rezoning request is to facilitate the relocation of a pharmacy currently operating on Windmill Cr. The pharmacy’s specific operations require the property to be rezoned to Light Industrial (LI).

Zoning, Existing and Proposed Land Use

	Zoning	Existing Land Use
North	PDD-33	Abilene Senior Village & Sam’s club
East	PDD-34	US Agricultural Marketing Services
South	GR	Vacant
West	LI	Warehousing

Criteria Assessment

Section 1.4.1.4 of Abilene’s Land Development Code states that, in making a determination regarding a requested zoning change, the Planning and Zoning Commission and the City Council may consider the following factors:

- (1) Whether the proposed zoning map amendment implements the policies of the adopted Comprehensive Plan, including the land use classification of the property on the Future Land Use and Development Plan Map, as amended.**

The proposed zoning change is consistent with the intent of the Comprehensive Plan. The properties lie within a transitional character area in which uses are more mixed and activity nodes exist.

(2) Whether the uses permitted by the proposed change in zoning classification and the standards applicable to such uses will be appropriate in the immediate area of the land to be reclassified.

The proposed use would be appropriate in the surrounding area.

(3) Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other public services and utilities to the area.

This property will be subject to platting and official site plan review. All required utilities will be addressed during these review processes.

(4) Any other factors, which will substantially affect the public health, safety, morals, or general welfare.

None known.

Planning and Zoning Commission Recommendation

P&Z recommends **approval**.

Attachments

- PowerPoint Presentation
- Application

Notification

Pursuant to Section 1.2.2.2 of the Land Development Code, City staff mailed personal notices on January 16, 2026, via standard mail to the owners of property within a 200-foot radius of the subject street right of way. The property owners and associated parcel identification numbers are identified below:

PROPERTY OWNER

Legend: O - Opposed, F - In Favor

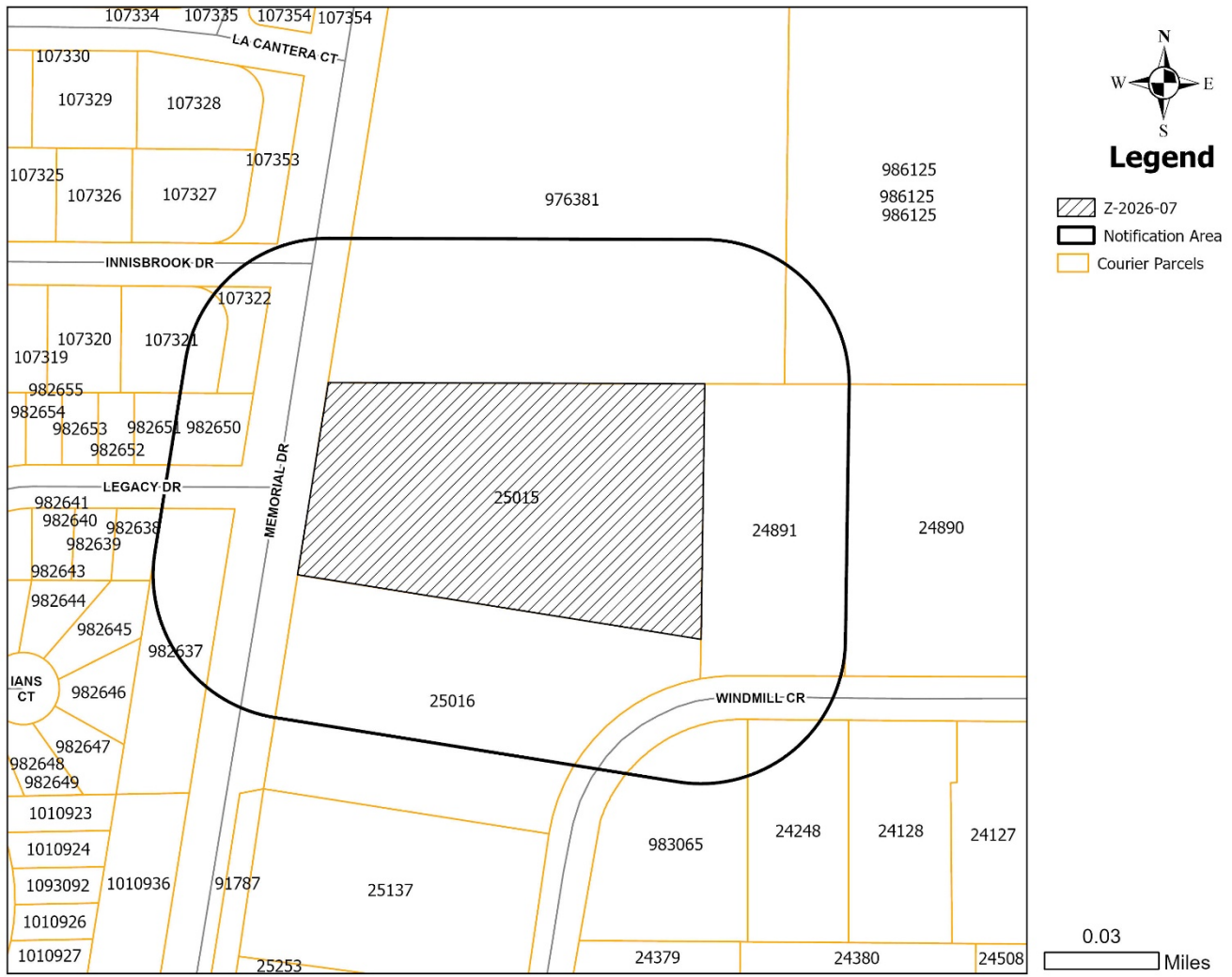
PROPERTY OWNER	PROPERTY ID	SITUS	RESPONSE
ABILENE CHARGER PROPERTIES LP	976381	2225 COVENANT DR	
HOMEOWNERS OF LEGACY VILLAGE	982650	5566 MEMORIAL DR	
HOMEOWNERS OF LEGACY VILLAGE	982637	5650 MEMORIAL DR	
M2B ABILENE LLC	24890	18 WINDMILL CR	
RICH COLDEN S & DANLEE N	107321	2301 INNISBROOK DR	
SAMS REAL ESTATE BUSINESS TR	986125	5610 S CLACK ST	
SAMS REAL ESTATE BUSINESS TR	986125	A B S CLACK ST	
SAMS REAL ESTATE BUSINESS TR	986125	5550 S CLACK ST	
SHERROD PAUL BLAKE JR &	24891	24 WINDMILL CR	O
SMITH KEVIN ARTHUR	24248	21 WINDMILL CR	
SMITH KEVIN ARTHUR	983065	23 WINDMILL CR	
VILLAGES OF ABILENE MEADOWS LP	107322	5550 MEMORIAL DR	
WINDMILL CIRCLE APARTMENTS LLC	25016	28 WINDMILL CR	
WINDMILL CIRCLE APARTMENTS LLC	25015	5601 MEMORIAL DR	

PROPERTY ID

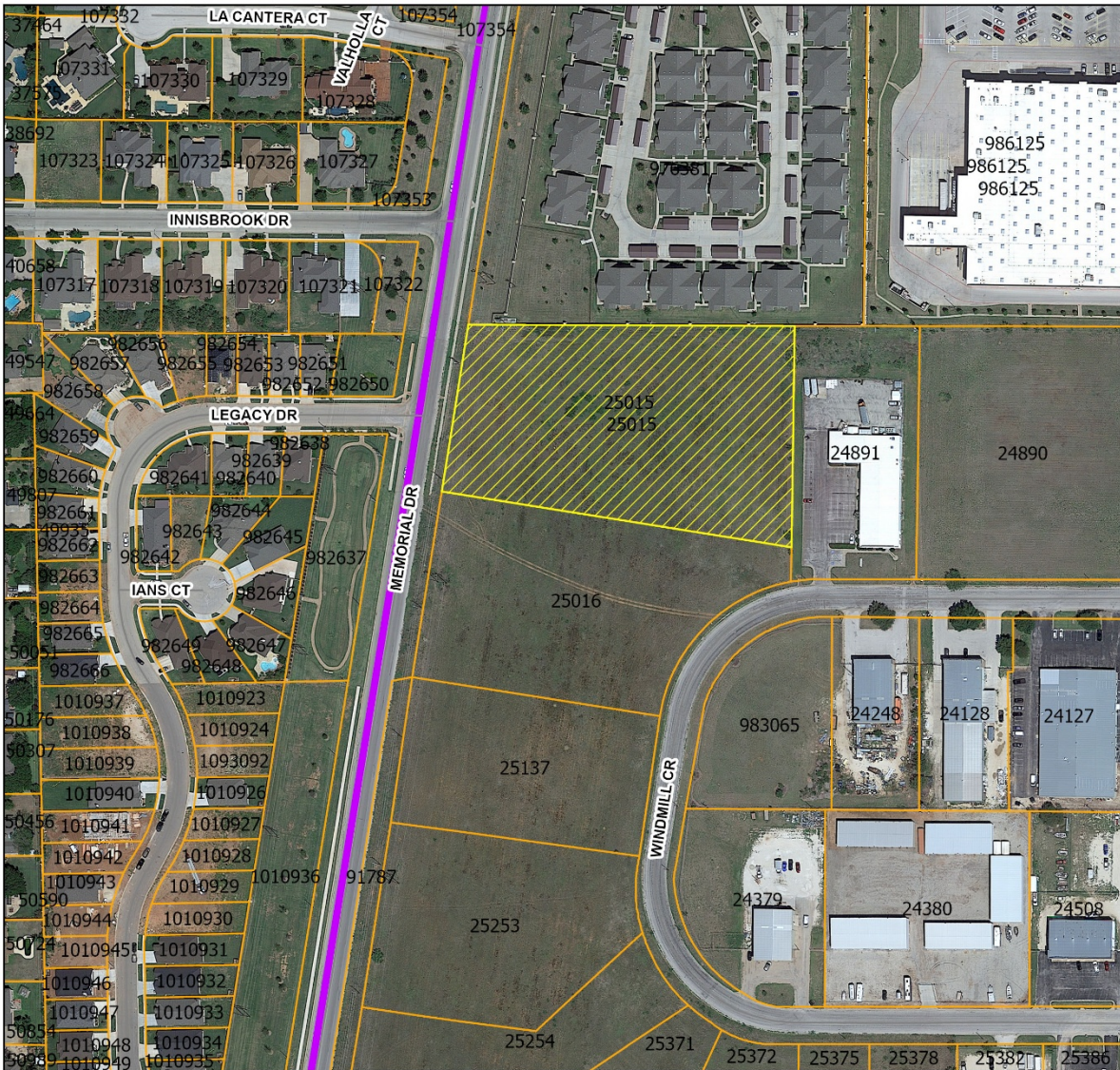
Legend: O - Opposed, F - In Favor

PROPERTY OWNER	PROPERTY ID	SITUS	RESPONSE
SMITH KEVIN ARTHUR	24248	21 WINDMILL CR	
M2B ABILENE LLC	24890	18 WINDMILL CR	
SHERROD PAUL BLAKE JR &	24891	24 WINDMILL CR	O
WINDMILL CIRCLE APARTMENTS LLC	25015	5601 MEMORIAL DR	
WINDMILL CIRCLE APARTMENTS LLC	25016	28 WINDMILL CR	
RICH COLDEN S & DANLEE N	107321	2301 INNISBROOK DR	
VILLAGES OF ABILENE MEADOWS LP	107322	5550 MEMORIAL DR	
ABILENE CHARGER PROPERTIES LP	976381	2225 COVENANT DR	
HOMEOWNERS OF LEGACY VILLAGE	982637	5650 MEMORIAL DR	
HOMEOWNERS OF LEGACY VILLAGE	982650	5566 MEMORIAL DR	
SMITH KEVIN ARTHUR	983065	23 WINDMILL CR	
SAMS REAL ESTATE BUSINESS TR	986125	5610 S CLACK ST	
SAMS REAL ESTATE BUSINESS TR	986125	A B S CLACK ST	
SAMS REAL ESTATE BUSINESS TR	986125	5550 S CLACK ST	

NOTIFICATION MAP



LOCATION MAP

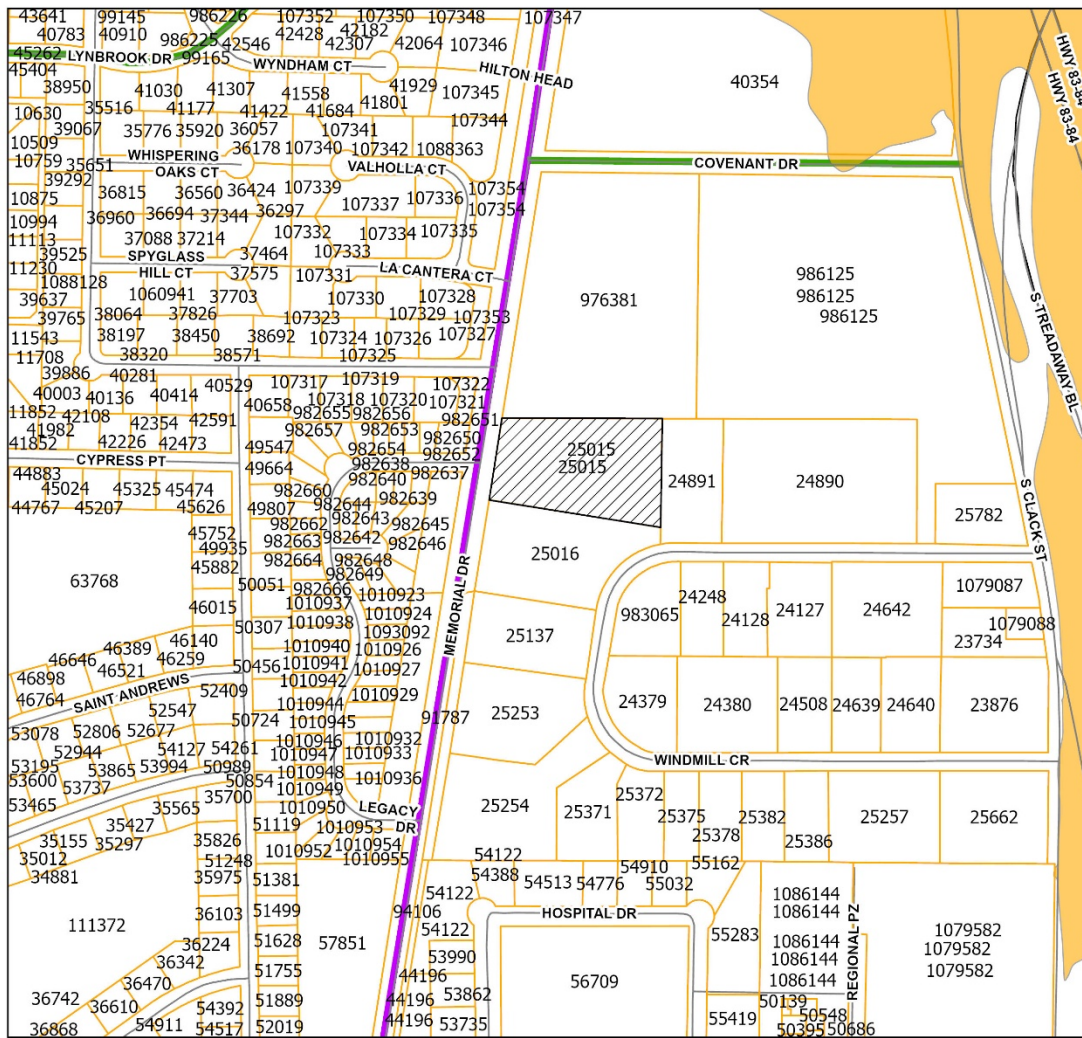


Legend

- Z-2026-07
- Courier Parcels
- Minor

0.04 Miles

Flood Map



Legend

- Z-2026-07
- Courier Parcels

FEMA Flood Zones

- Floodway
- 100 Year 1%
- 100 Year 1%
- 500 Year 2%
- 500 Year 2%
- Unstudied A Zone
- Unstudied A
- Collector
- Expressway
- Minor

ZONING NOTIFICATION RESPONSE FORM CASE: Z-2026-07

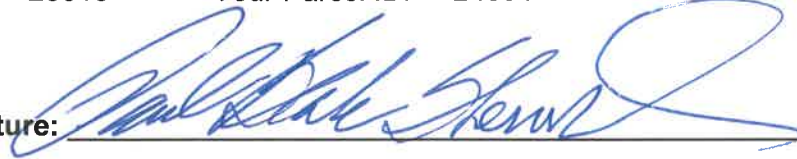
You may indicate your position on this request by detaching this sheet at the dotted line and returning it to the address below. Additional comment space is provided on the back of this response form. You may also attach additional sheets if needed. All correspondence must be signed and include your name and address. All responses must be received within 5 days of the meeting to be placed in the agenda packet. Please mail the response form to:

Planning and Development Services
PO BOX 60, Abilene, TX 79604-0060.

Alternatively, you may email your response to planning@abilenetx.gov.

Requestor's Property Zoning:	GC	Your Name:	SHERROD PAUL BLAKE	I am in favor	<input type="checkbox"/>
Requestor's Proposed Zoning:	LI	Your Address:	24 WINDMILL CR		
Requestor's Parcel ID:	25015	Your Parcel ID:	24891	I am opposed	<input checked="" type="checkbox"/>

Signature: _____





REZONE REQUEST

Case: Z-2026-07

Owner: Windmill Circle Apartments, LLC

Agent: Clint Rosenbaum

Request: Change the zoning of approximately 3.87 acres from General Retail (GR) to Light Industrial (LI)

Location: 5401 Memorial Dr

Notification: 0 in Favor, 1 in Opposition

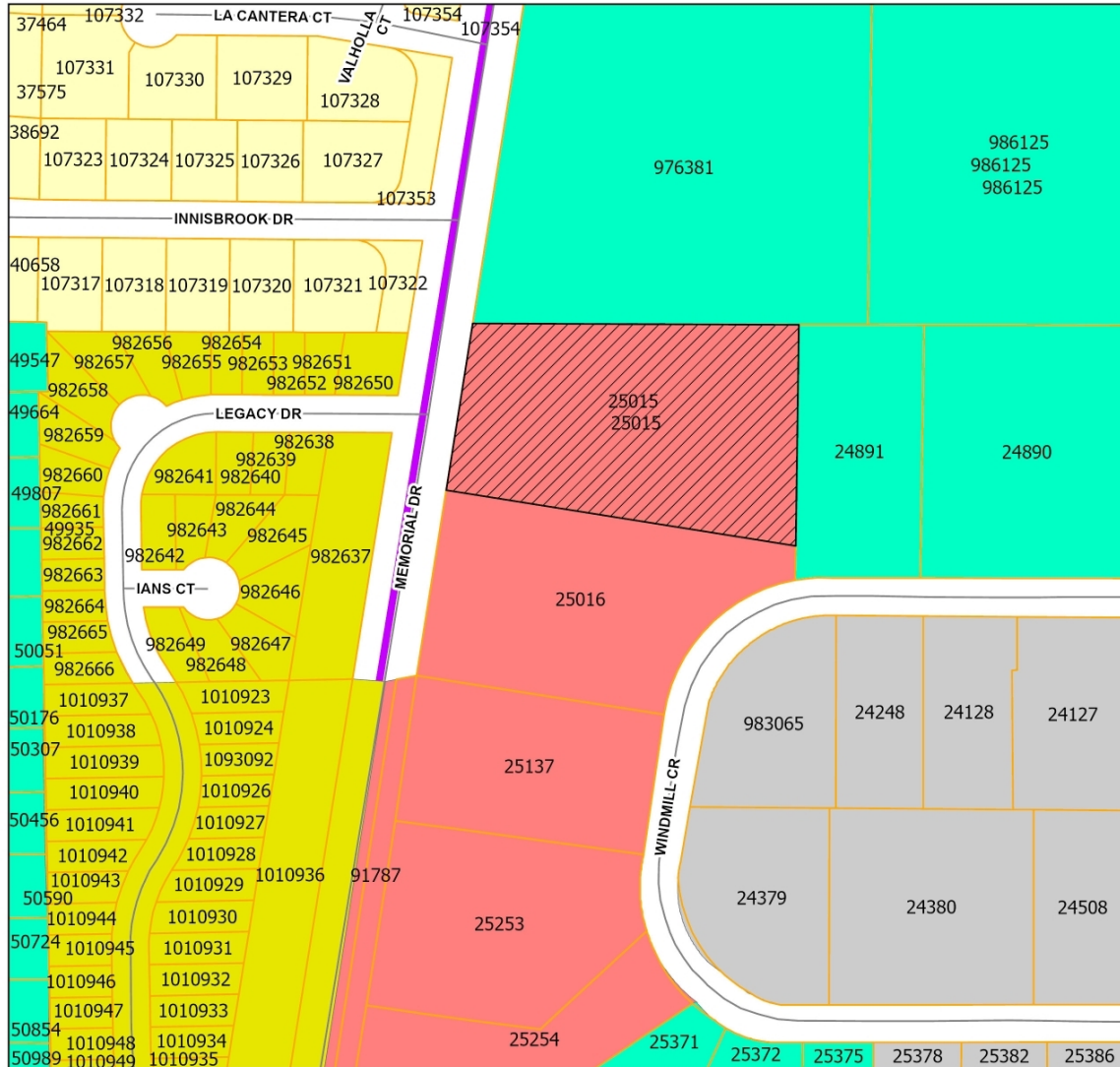
Planning & Zoning: February 3, 2026

Council Hearing: February 12, 2026
February 26, 2026





ZONING MAP



Legend

- Z-2026-07
- Courier Parcels
- PD (Planned Development)
- LI (Light Industrial)
- GR (General Retail)
- PH (Residential - Patio Home)
- RS (Residential - Single Family)
- Minor

0.04 Miles





PROPERTY VIEWS



Southeast Neighboring Property



Neighboring Property



East Neighboring Property



West Neighboring Property



Subject Property

December 23, 2025 12:42 PM



Subject Property





USES IN GENERAL RETAIL ZONING

RESIDENTIAL USES:

- P Bed & Breakfast
- P Dwelling – Industrialized Housing Unit
- P Dwelling – Institutional
- C Dwelling – Multiple-Family
- P Dwelling – Single Family Detached
- P Hotel/Motel

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P/C Day Care Operation – Home Based
- P Drive-Thru Facility
- TP Field Office or Construction Office (temporary)
- C Freight Container
- P Fuel Sales
- P Garage Sales
- P Home Occupation
- TP Itinerant Business
- P Manufacturing (incidental)
- TP Mobile Home (temporary security residence)
- P Recreation Building, Multipurpose
- P Recreation Equipment, Mobile (storage and parking)
- P Recycling Collection Point
- P Subdivision Sales Office (temporary)
- P Swimming Pools, Private (accessory to residential use)
- P Tennis Courts, Private (accessory to residential use)
- P/SE Wind Energy Conversion Systems

CULTURAL AND RECREATIONAL USES:

- P Civic, Social, and Fraternal Organization
- P Cultural Facilities
- C Recreation – Outdoors (active)
- P Recreation – Outdoors (passive)
- P Recreation and Commercial Entertainment - Indoor

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- C Ambulance Service
- P Fire/Police Station
- P Medical/Dental Laboratory
- P Post Office
- C Social Service Facility

EDUCATIONAL AND RELIGIOUS USES:

- P Arts School
- P Church or Place of Worship
- P Day-Care Operation - Center-Based
- P Educational and Scientific Research
- P School: Public/Private
- C Trade/Business School
- P University/College

SERVICE:

- P/C Automobile Wash
- C Funeral Home/ Mortuary/Morgue
- P Kennel (Without Outdoor Pens)
- P Laundry/Dry Cleaning Services & Facilities
- P Office (general, professional, financial)
- P Personal Services
- C Printing, Copying, Reproduction, Publishing
- P Repair and Maintenance Services - Automobile/Small Truck (minor)
- P Repair and Maintenance Services (indoor)
- C Tattoo Parlor
- P Veterinary Service (small animals)

TRADE – RETAIL USES:

- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P Fuel Sales
- P Liquor Store (Off Premises Consumption) (*Defined under Liquor Store*)
- P Liquor Store (On Premises Consumption) (*Defined under Liquor Store*)
- P Restaurant, Brew Pub
- P Restaurant, Fast Food
- P Restaurant, Standard
- P Retail Sales/Rental (indoor)
- C Retail Sales/Rental (outdoors, non-vehicle)

TRANSPORTATION, COMMUNICATION AND UTILITIES:

- C Antenna Tower- Commercial
- P Automobile Parking Lot or Structure - Commercial
- P Broadcast Studio
- P Public Utility Facility

RESOURCE PRODUCTION AND EXTRACTION USES:

- P Petroleum or Gas Well
- P Urban Garden

LEGEND

- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
- TP Permitted by Temporary Permit Only, Requiring Approval by Board of Adjustment





USES IN LIGHT INDUSTRIAL ZONING

ACCESSORY AND INCIDENTAL USES:

- P Accessory Structure (Also see Division 4 of this article)
- P Antenna, Non-Commercial/Amateur
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P Drive-Through Facility
- TP Field Office or Construction Office (temporary)
- P Freight Container
- P Fuel Sales
- TP Itinerant Business
- P Manufacturing (incidental)
- C Mobile Home (permanent security residence)
- TP Mobile Home (temporary security residence)
- P Mobile Home or Temporary Building (office for sales and service)
- P Recreation Building, Multipurpose
- P Recycling Collection Point
- P/SE Wind Energy Conversion Systems

CULTURAL AND RECREATIONAL USES:

- P Adult Entertainment Enterprise
- C Cultural Facilities
- P Drive-in Theater
- C Motorized Racing
- P Recreation – Outdoors (passive)

GOVERNMENT, HEALTH, SAFETY AND WELFARE USES:

- P Ambulance Service
- P Correction, Detention, or Penal Facilities
- P Fire/Police Station
- P Homeless/Emergency Shelter
- P Medical/Dental Laboratory
- P Military and Armed Forces Reserve Center
- P Post Office
- C Sanitary Landfill

SERVICE:

- P/C Automobile Wash
- P Contractor Services
- P Funeral Home/ Mortuary/Morgue
- P Kennel (With Outdoor Pens)
- P Kennel (Without Outdoor Pens)
- P Laundry, Dry Cleaning, Dyeing, and Linen Service (no retail customers)
- P Laundry/Dry Cleaning Services & Facilities
- P Office (general, professional, financial)
- P Printing, Copying, Reproduction, Publishing
- P Recycling Collection and Processing Center
- P Repair and Maintenance Services - Automobile/Small Truck (major)
- P Repair and Maintenance Services - Automobile/Small Truck (minor)
- P Repair and Maintenance Services (indoor)
- P Repair and Maintenance Services (outdoors)
- P Repair and Maintenance Services (truck and other large vehicles)
- P Scales (public)
- P Storage - Self-Service Units
- P Tattoo Parlor
- P Taxidermist
- P Veterinary Service (all size animals)
- P Veterinary Service (small animals)
- P Wrecker/Towing

EDUCATIONAL AND RELIGIOUS USES:

- C Cemetery, Crematorium, and Mausoleum
- P Church or Place of Worship
- P Educational and Scientific Research
- P School: Public/Private
- P Trade/Business School

TRADE – RETAIL USES:

- P Aircraft and Accessories
- P ATM's, Self-Serve Kiosks, and Similar Facilities
- P Fuel Sales
- P Head Shop
- P Liquor Store (Off Premises Consumption) *(Defined under Liquor Store)*
- P Liquor Store (On Premises Consumption) *(Defined under Liquor Store)*
- P Retail Sales/Rental (automobile/small truck)
- P Retail Sales/Rental (indoor)
- P Retail Sales/Rental (outdoors, non-vehicle)
- P Retail Sales/Rental (trucks and other large vehicles and equipment)

TRADE – WHOLESALE USES:

- P Liquor, Wholesale/Distribution
- C Livestock – Wholesale or Auction
- P Wholesaling and Storage (indoor)
- P Wholesaling and Storage (outdoors)

TRANSPORTATION, COMMUNICATION AND UTILITIES:

- P Airport, Heliport and Flying Field Terminals - Commercial (passenger and freight)
- P Antenna Tower - Commercial
- P Automobile Parking Lot or Structure - Commercial
- P Broadcast Studio
- P Passenger Ground Transportation Terminal
- P Pressure Control Station
- P Public Utility Facility
- P Railroad Switching and Marshaling Yard
- P Utility Generation, Production, Treatment

RESOURCE PRODUCTION AND EXTRACTION USES:

- C Mining
- P Petroleum or Gas Well
- P Liquor
- P Manufacturing (light)
- P Urban Garden

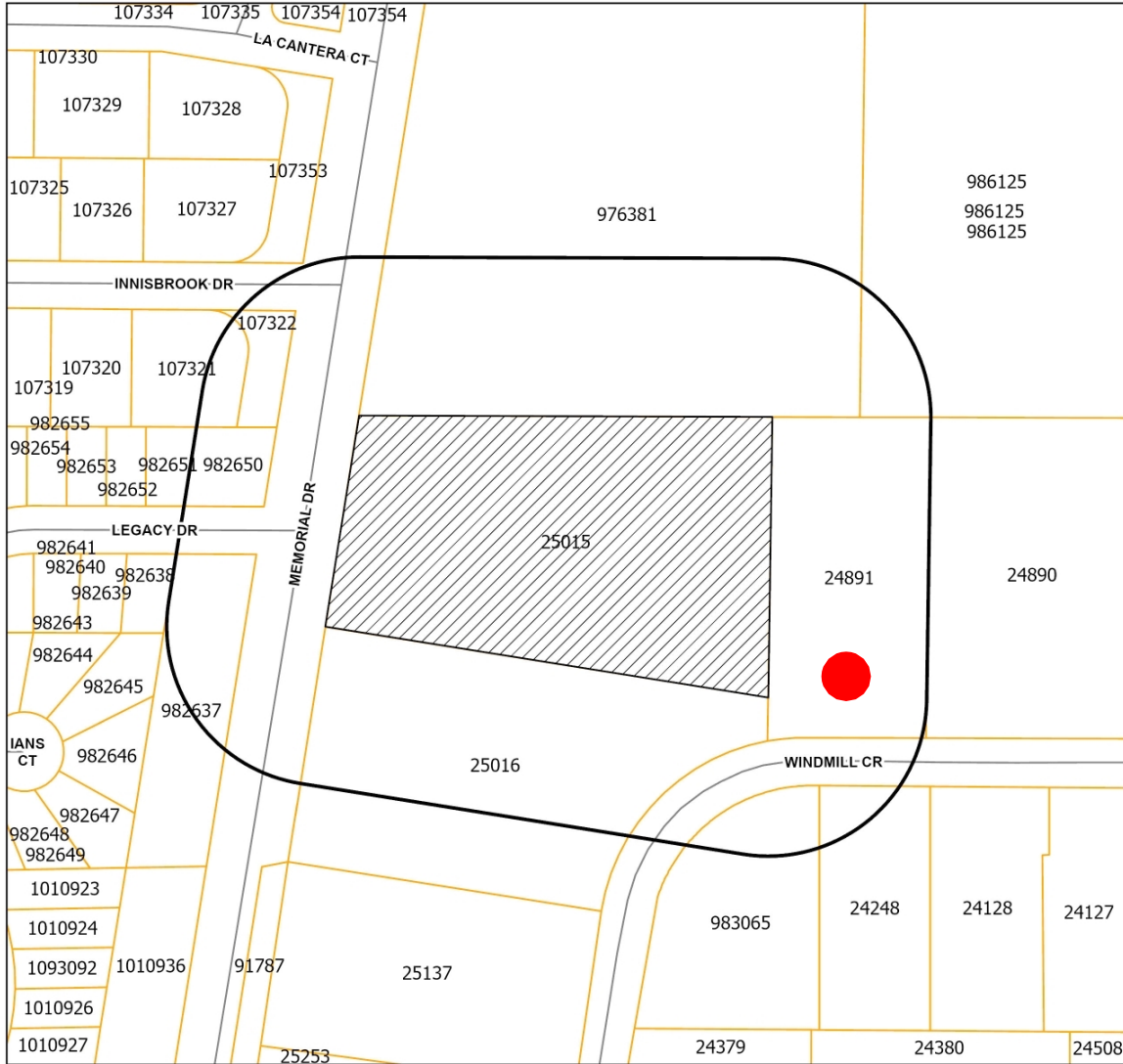
LEGEND

- P Permitted as a Right-of-Use (may be subject to compliance with conditions described within Division 3- Requirements Applicable to Specific Land Uses of the Land Development Code)
- C Permitted as a Conditional Use Permit, Requiring Approval by City Council
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NOTIFICATION AREA MAP



Legend

- Z-2026-07
- Notification Area
- Courier Parcels

0 - in Favor -

1 - in Opposition -

17.29% Opposition

0.03
Miles





FINDINGS AND RECOMMENDATIONS

The request is consistent with:

- The *Comprehensive Plan*;
- The surrounding uses and zoning;
- Generally accepted planning principals; and
- The Criteria for Approval in the LDC.

Planning and Zoning Commission Recommendation:

Approval





Questions?





**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Emily Crawford, City Manager
FROM: Vincent Cantu, EMC
ITEM: 13. Presentation: Receive a Report and Hold a Discussion on the January 23, 2026, Winter Weather Event (*Vincent Cantu*)

GENERAL INFORMATION

Presentation of the Winter Weather Quick Look Report (QLR) summarizing the City's response to the January 23, 2026 winter weather event.

FUNDING/FISCAL IMPACT

N/A

STAFF AND/OR BOARD RECOMMENDATION

N/A

ATTACHMENTS:

1. City Council Presentation - Jan 26 - Quick Look Report

BACKUP DOCUMENTATION UPDATED? No

UPDATED ON:

City of Abilene - January 23, 2026, Winter Weather - Quick Look Report





Event Snapshot

- **What happened:** Arctic air, ice/snow, extreme cold (Jan 23–27 impacts)
- **City posture:** Monitoring / coordinated departmental operations (no full activation needed)
- **Impacts:** hazardous roads; temporary CityLink + airport closures; shelter demand surge
- **Bottom line: No major incidents;** essential services largely maintained





Strengths

- **Early notification & situational awareness** supported planning
- **Public messaging** supported travel/safety decisions
- **Infrastructure stability:** utilities largely stable; brief AEP outage restored quickly; water/wastewater impacts limited





Enhancements and Next Steps

- **Single source of truth / standard update process** (internal comms + defined POCs)
- **More specific public closure messaging** (what is closed/open, by facility)
- **Cold-weather shelter coordination protocol** (roles, triggers, partner readiness)
- **Critical facility freeze checks**





**CITY COUNCIL
MEMORANDUM
2/26/2026**

TO: Honorable Mayor & Members of City Council
FROM: Stanley Smith, City Attorney

ITEM: 14. The City Council of the City of Abilene reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed below, as authorized by the noted Texas Government Code Sections:

GENERAL INFORMATION

The City Council of the City of Abilene reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed below, as authorized by the noted Texas Government Code Sections:
A. 551.071 (Consultation with Attorney)

1. City of Abilene v. 3118 South 22nd Street, Abilene, Texas, et al.; Cause No. 11968-D, In the 350th Judicial District Court, Taylor County, Texas; filed October 11, 2019
2. The City of Abilene, Texas v. Ken Paxton, Attorney General of Texas; Cause No. D-1-GN-20-007028, In the 459th Judicial District Court, Travis County, Texas; filed November 18, 2020
3. Alton H. Smith, Jr. and Alicia Malorie Smith v. City of Abilene, Texas; Cause No. 51055-A, In the 42nd Judicial District Court, Taylor County, Texas; filed March 11, 2021
4. Steve Van Horne, et al. v. City of Abilene, et al.; Cause No. 12530-D, In the 350th Judicial District Court, Taylor County, Texas; filed September 7, 2021
5. The City of Abilene, Texas v. Ken Paxton, Attorney General of Texas; Cause No. D-1-GN-21-006299, In the 250th Judicial District Court, Travis County, Texas; filed October 20, 2021
6. Richard Scheriger, et al. v. City of Abilene; Cause No. CV33253, In the 90th Judicial District Court, Stephens County, Texas, filed April 21, 2023
7. The Woodlands Pride, Inc., et al. v. Ken Paxton, Attorney General of Texas, et al., Case No. 4:23-cv-02847, In the United States District Court, Southern District of Texas, Houston Division, filed August 2, 2023
8. PFAS Litigation
9. Ginger Robertson v. City of Abilene and Abilene Zoological Society; Cause No. 13179-D, In the 350th Judicial District Court, Taylor County, Texas; filed December 5, 2023
10. City of Dallas, et al. v. Disney DTC, LLC, et al., Cause No. DC-22-09128, In the 14th Judicial District Court, Dallas County, Texas, filed August 3, 2022
11. Patricia Anderson v. City of Abilene; Cause No. 51867-A, In the 42nd Judicial District Court, Taylor County, Texas; filed March 1, 2024
12. Mary Lou Gonzales v. City of Abilene, Board of Building Standards; Cause No. 29156-B; In the District Court, 104th Judicial District, Taylor County, Texas; filed April 10, 2024
13. Bouldin Pat Crofton v. City of Abilene, Board of Building Standards; Cause No. 52175-A, In the 42nd Judicial Court, Taylor County, Texas; filed May 9, 2025
14. Tracey Freeman v. City of Abilene, Case No. 13596-D; In the District Court of Taylor County, 350th Judicial District, filed on July 8, 2025
15. Bronson Joseph Serasio v. C Davis, City of Abilene Police Department; Case No. 25SC-11643J11; In The Small Claims Court, Precinct 1, Place 1, Taylor County, Texas, filed July 21, 2025
16. Victor Lynn Lee v. Erin Stamey, et al., Case No. 5:25-cv-00590-XR; In the United States District Court, Western District of

Texas, San Antonio Division; filed May 28, 2025

17. Brennon and Brittany Manske, et al. v. City of Abilene, et al.; Case No. 1:25-cv-00172-H, In the United States District Court, Northern District of Texas, Abilene Division, filed September 5, 2025

18. Kevin Young v. Matthew Clopton; Case No. 1:24-CV-00113-H, In the United States District Court, Northern District of Texas, Abilene Division, filed July 16, 2024

19. Ishmael Jaimes v. City of Abilene; Civil Action No. 1:25-cv-00249-H; In the United States District Court, Northern District of Texas, Abilene Division; filed November 13, 2025

20. Rusty Miller and Jenny Miller, Individually, and as Next Friends of Jayden Miller v. the City of Abilene; Cause No 13773-D, in the 350th Judicial District Court, Taylor County, Texas, filed December 22, 2025

21. Peer Cities

B. 551.072 (Deliberations about Real Property)

C. 551.073 (Deliberations about Gifts and Donations)

D. 551.074 (Personnel Matters)

1. City Council may consider appointment, employment, compensation, reassignment, duties, discipline, or dismissal of public officers or employees, City Manager, City Attorney, Municipal Court Judge, City Secretary, and City Board and Commission Members

2. City of Abilene Boards and Commissions may be discussed, as needed for (re)appointment

E. 551.076 (Deliberations about Security Devices)

F.551.087 (Business Prospect/Economic Development)

FUNDING/FISCAL IMPACT

STAFF AND/OR BOARD RECOMMENDATION

ATTACHMENTS:

None

BACKUP DOCUMENTATION UPDATED? No

UPDATED ON: