



City of Abilene Parks and Recreation Board Agenda

Notice is hereby given of a meeting of the Parks and Recreation Board of City of Abilene to be held on March 17, 2020 at 8:30 a.m. at City Hall, 555 Walnut Street, Council Chambers, Abilene, Texas, for the purpose of considering the following agenda items.

CALL TO ORDER

1. Invocation

PUBLIC COMMENTS

Public Comments on Any Item on the Agenda

AGENDA ITEMS

2. Approval of the Minutes from the Regular Meeting held on January 21, 2020 (Discussion and Action)
3. Service Award (Discussion)
4. Discussion of the Recreation Feasibility Study (Discussion)
5. Minter Park Update (Discussion)
6. Recreation Division Report:
 - Update on Daddy Daughter Dance
 - Special Olympics
 - Spring Break Camp
 - Steam -N- Wheels

7. Zoo Division Report:
 - Update on the Madagascar Exhibit
 - Animal care update
 - Leap Day 2020
 - Spring Break
 - Senior Discovery Day
 - Easter at the Zoo
8. Parks Division Report:
 - Spring Projects
 - Update on completed Winter projects
9. Senior Division Report:
 - Senior Trip
 - St. Patrick's Day Bingo
 - March Movies
 - Upcoming events

ADJOURNMENT

Notice

In compliance with the Americans with Disabilities Act, the City of Abilene will provide for reasonable accommodations for persons attending meetings. To better serve you, requests should be received forty-eight (48) hours prior to scheduled meetings. Please contact the City Secretary's Office at 325-676-6208. Telecommunication device for the deaf is 325-676-6360.

CERTIFICATION

I hereby certify the above meeting notice was posted on the bulletin board at the City Hall of the City of Abilene, Texas, on the 13th day of March, 2020, at 2:00 p.m.

*Kaitlin Richardson, Deputy City
Secretary*

Invocation



Approval of the Minutes from the Regular Meeting held on January 21, 2020



Service Awards



Discussion of the Recreation Feasibility Study



ABILENE INDOOR RECREATION FEASIBILITY STUDY GOALS

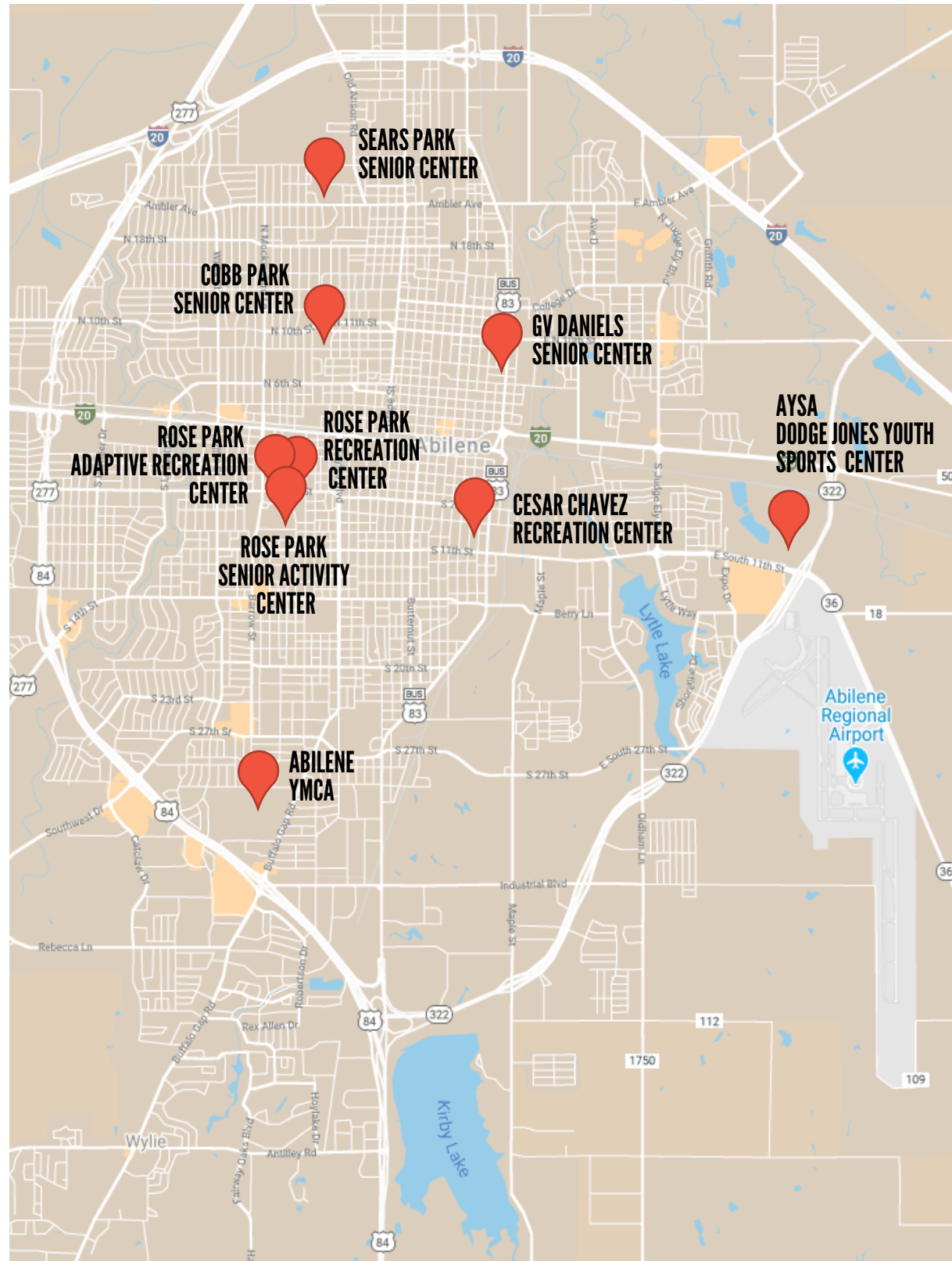
- Create **Vision & Mission Statements** To Guide The Feasibility Study Process
- Evaluate And Assess The **Condition Of The Existing Facilities**
- Identify **Deficits Or Gaps** In Quantity And Quality Of **Service** In The Abilene Indoor Recreation System
- Provide **Conceptual Planning And Programming** For Renovated And New Indoor Recreation Facilities.
- Provide An Understanding Of Today's **Modern Recreation Spaces**
- Provide **Recommendations** To Achieve Balance Of:
 - Recreation **Facilities Programs**
 - Total **Project Costs**
 - Projected **Schedule** To Deliver Improved Facilities Programs
 - **Proforma** Recommendations To Understand Operational Costs And Revenue Expectations.

PROGRAM INPUT PROCESS

- **Workshop #1 (Dec. 16, 2019)** – Card Game (Prioritization) Exercise
- **Abilene Focus Group Representatives**
 - Sears Senior Center
 - Abilene Parks and Recreation Board
 - Cobb Recreation Center
 - G.V. Daniels Recreation Center
 - The Abilene YMCA
 - The Abilene Youth Sports Authority
- **Workshop #2 (Jan. 14, 2020)** - Public Meeting (Dot-ocracy)
- **Comment Cards at Public Meeting & Rec. Centers**
 - multigenerational recreation centers
 - actives spaces for health and wellness
 - renewal of the existing centers & new center for underserved populations of Abilene.
- **Community Survey (Jan. 18th – 31st)** – 238 responses

332 points of data
From Abilene residents

SITE & FACILITY DESIGN- EXISTING FACILITY ASSESSMENT



- Average SF of Indoor Recreation Space per capita: 1.0 -1.5 (Texas)
 - 2.0 in many states
- Currently Indoor Recreation Facilities
 - (GV Daniels, Sears, Cobb, Rose): 60,500 SF
 - Rose Senior Activity Building: 26,500 SF
 - *Chavez Rec. not included as the facility is not currently open to the public.
 - *Adaptive Rec. not included as the facility serves non-traditional recreation needs.
- **91,500 SF / 122,000 pop. = 0.75 per resident.**
- **An additional 30,000 SF needed = 1.0**
- **An additional 91,500 SF needed = 1.5**

COMMUNITY INPUT RESULTS – INDOOR RECREATION PRIORITIES

Architectural Spaces	Dot-ocracy Rankings *	Comment Card Rankings*	Survey Rankings*	Combined Rankings
Walk/Jog Track	2	2	2	2.0
Indoor Playground	7	3	3	4.3
Teaching / Catering Kitchen	2	9	5	5.3
Aerobics/Spin/Dance Rooms	6	5	7	6.0
Teen/ Youth Games / Activities Room	5	1	13	6.3
Community/ Events Hall	10	6	4	6.7
Weights / Cardio Equipment Area	4	6	12	7.3
Gymnasium (multi-use court)	13	4	6	7.7
Child Watch	6	13	9	9.3
Classrooms	1	15	15	10.3
Senior Adult Lounge	10	11	11	10.7
Nature Center	11	11	11	11.0
Party Rooms	7	18	8	11.0
Library/Reading Area	11	15	10	12.0
Computer lab/ Technology Stations	21	14	1	12.0
Arts & Crafts Rooms	8	15	14	12.3
Gymnasium (wood court)	11	20	17	16.0
eSports	11	18	21	16.7
Rock Climbing/Bouldering Wall	21	20	16	19.0
Racquetball	21	21	19	20.3
Quick Stop Technology	21	21	21	21.0

Aquatic Spaces	Dot-ocracy Rankings	Comment Card Rankings	Survey Rankings	Combined Rankings
Indoor Leisure Pool	3	1	1	1.7
Indoor Lap Pool - Fitness	2	1	3	2.0
Wellness Therapy Pool	1	3	2	2.0

* Items that have the same value were tied in the voting tabulation

SITE & FACILITY DESIGN - EXISTING FACILITY EVALUATION

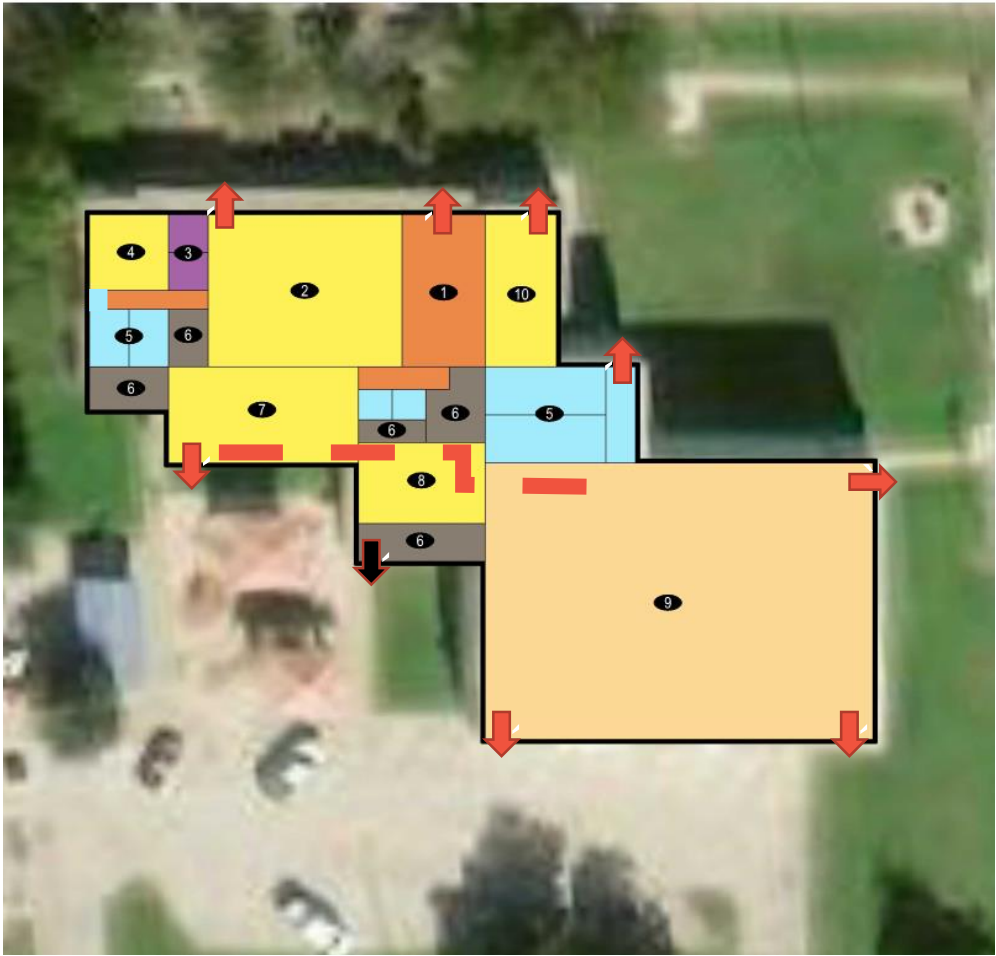
GV Daniels Recreation Center - Existing Facility Assessment

Upon visual observation of the existing facility the following items were identified.

- **CODE / HEALTH & SAFETY**
 - The facility does not have a single main entry. Multiple access and entry points can be a security and safety concern and hard to monitor by facility staff.
 - There is no exterior access from the senior storage area. Egress through multiple spaces is required.
 - The building has no fire suppression system. Due to the size and function of the building likely any new addition or remodel would require the addition of Fire Suppression System.
 - There is existing electrical panels accessible to the public in the gymnasium When possible we recommend that electrical gear be away from public access.
- **EXTERIOR**
 - No major structural deficiencies are specifically apparent.
 - There were minor side grading drainage concerns around the gymnasium and NW corner of the building.
- **ACCESSIBILITY**
 - No major accessibility concern were apparent around the exterior of the building
 - The existing restrooms in the facility adjacent to the Kitchen does not appear to be TAS compliant.
 - The showers within the new addition restroom do not appear to be TAS compliant.
- **ENERGY EFFICIENCY/ MAINTENANCE ISSUES**
 - The existing original restrooms are in need of repair and updates. They are very unsightly for a modern facility.
 - There were major signs of piping and mechanical visual deterioration.
 - There were minor roof leak concerns visible noticed at the original building and gymnasium ceilings. The City indicated this was an on-going concern.
 - The current facility would not meet current energy code standards. Single paned window glazing and minimal building insulation do not contribute to an energy efficient building. Mechanical and Lighting upgrades would also be required to meet current energy codes.
- **USER EXPERIENCE / LAYOUT**
 - The facility has been modified and remodel a number of time without appreciation to the

user experience, thus leading to a lack of curb appeal.

- Internal columns within the senior community spaces limit the use of the room and flexibility of the space.
- There is an abundance of fluorescent lighting and minimal natural light for many of the spaces making them less enjoyable to be in.
- The existing basketball gymnasium appears to sized for a high school sized court. The playing surface is not ideal for a competitive basketball game. The gymnasium space is the best condition space in the facility.
- **SUMMARY**
 - The GV Daniels facility has a critical value for the local neighborhood. Small additions or renovations would require the entire building to be brought up to current codes making the cost more than it was worth. With the gymnasium being the newest and highest valued space, there is a potential to save the gym and construct a new recreation center around it.



SITE & FACILITY DESIGN - EXISTING FACILITY EVALUATION

Sears Recreation Center - Existing Facility Assessment

Upon visual observation of the existing facility the following items were identified.

- **CODE / HEALTH & SAFETY**
 - There is an unoccupied clinic at the north side of the building. Non occupied spaces can be a concern from a health and safety standpoint.
 - There are potential egressing concerns from the fitness and multi-use kids' room. The egress pathway to an exit is fairly lengthy and along a circuitous route.
 - The building has no fire suppression or smoke alarm system. Due to the size and function of the building likely any new addition or remodel would require the addition of Fire Suppression System.
- **EXTERIOR**
 - Evidence of spalling exterior brick can be seen at a number of locations around the perimeter of the building.
 - Moisture was apparent within the exterior brick. It was not clear if this was coming from the infiltration from weather events, or from inside the wall elsewhere.
- **ACCESSIBILITY**
 - Exterior accessibility was not verified however there are a number of site ramps that may not meet current TAS requirements. There is also no accessible egress pathway from the north side building exits. These should be added.
 - There is a small internal floor change by the gym the is not compliant with accessibility requirements.
 - The existing restroom access point is not TAS compliant. Likely the internal layout may have concerns as well.
- **ENERGY EFFICIENCY/ MAINTENANCE ISSUES**
 - The City noted moderate roof leaking concerns visible at the transition between the arching gym form and the newer flat roof north addition. Roof Drainage concerns were also apparent along the north side of the building exterior walls.
 - The current facility would not meet current energy code standards. Single paned window glazing and minimal building insulation do not contribute to an energy efficient building. Mechanical and Lighting upgrades would also be required to meet current energy codes.
- **USER EXPERIENCE / LAYOUT**
 - The small workout spaces is very dated and separated by a curtain. The Space is not conducive to an efficient and enjoyable workout..
 - The existing racquetball court appeared to be in good condition and potentially the

flooring and wall paneling system could be salvaged if the facility was demolished.

- There is an abundance of fluorescent lighting and minimal natural light for many of the spaces making them less enjoyable to be in.
- The existing basketball gymnasium appears to sized for a high school sized court. The playing surface is not ideal for a competitive basketball game.

SUMMARY

- The Sears recreation facility has a number of major concerns that would need to be addressed in the near future as it has reached beyond its useful life. The center plays a critical role to the residents of the neighborhood. The cost to remodel or renovate would be very high knowing that the facility would need to be brought up to current codes. With ample space on site, this facility would be a good location for a new recreation center.



SITE & FACILITY DESIGN - EXISTING FACILITY EVALUATION

Cobb Recreation Center - Existing Facility Assessment

Upon visual observation of the existing facility the following items were identified.

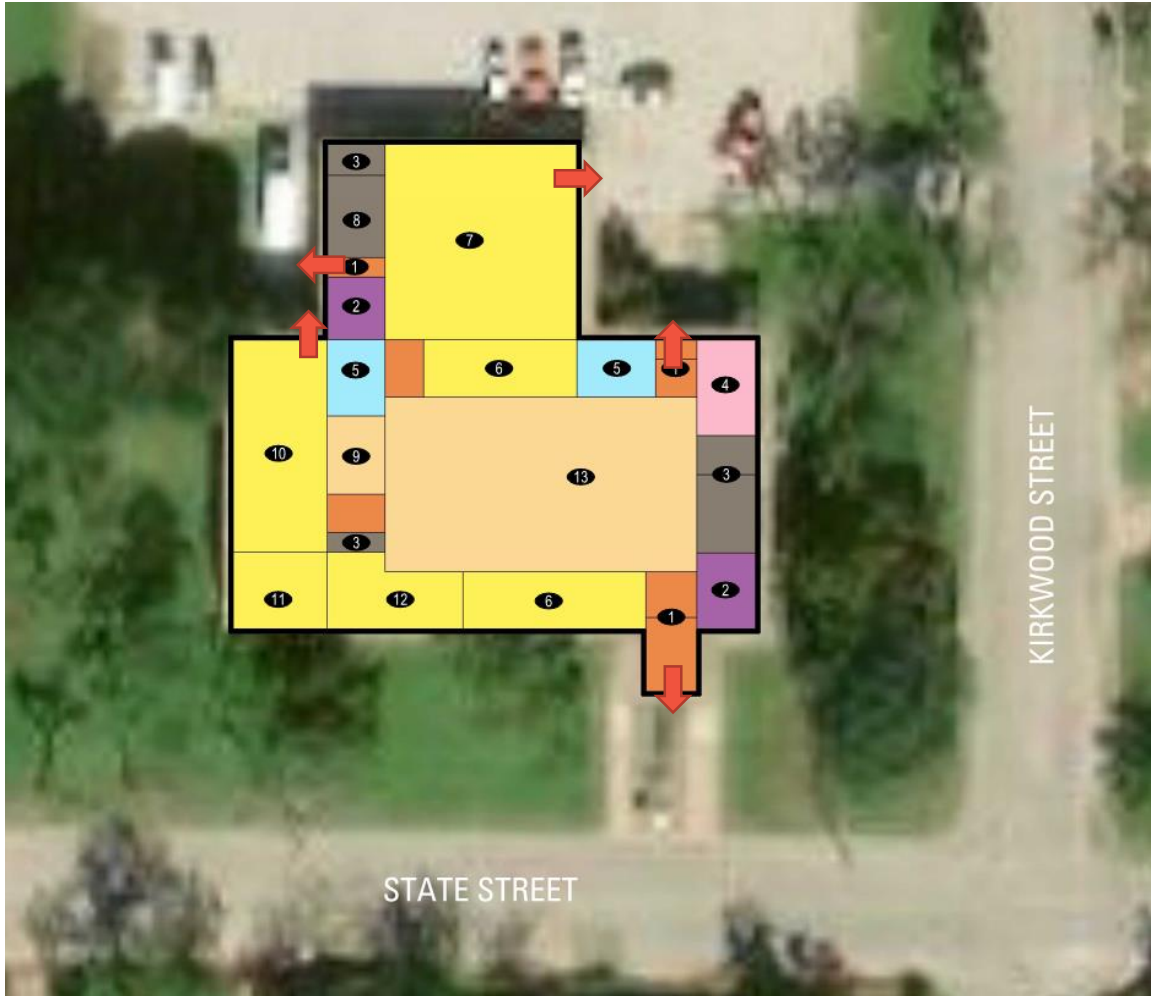
- **CODE / HEALTH & SAFETY**
 - Overall the facility has good egress
 - The facility does not have a single main entry. Multiple access and entry points can be a security and safety concern and hard to monitor by facility staff.
 - The building has no fire suppression or smoke alarm system. Due to the size and function of the building likely any new addition or remodel would require the addition of Fire Suppression System.
 - The main electrical gear is located in a storage room which is a concern from a safety standpoint that these uses should not mix.
- **EXTERIOR**
 - Evidence of spalling exterior brick can be seen at a number of locations around the perimeter of the building.
 - Moisture was apparent within the exterior brick. It was not clear if this was coming from the infiltration from weather events exterior sprinklers, or from inside the wall elsewhere.
 - There were a number of missing shingled on the exterior of the vertical roofs. Repair and replacement is needed to maintain a quality envelope.
- **ACCESSIBILITY**
 - General accessibility from the exterior into the building appears to be in compliance. No concerns were apparent, this included no internal building elevation changes.
 - The restrooms appeared at first glance to be in general compliance with accessibility requirements.
- **ENERGY EFFICIENCY/ MAINTENANCE ISSUES**
 - The flat roofing system around the building is a composite roofing system with limited insulation. There is likely a large thermal lose through this assembly.
 - The current facility would not meet current energy code standards. Single paned window glazing and minimal building insulation do not contribute to an energy efficient building. Mechanical and Lighting upgrades would also be required to meet current energy codes.
- **USER EXPERIENCE / LAYOUT**
 - The small workout spaces is very dated and does not have a The Space is not conducive to an efficient and enjoyable workout..
 - There is an abundance of fluorescent lighting and minimal natural light for many of the

spaces making them less enjoyable to be in.

- The existing basketball gymnasium appears to be a modified Elementary School court with hard surfaces. The court does not have the proper clearance for an actual basketball game and can be a safety concern.

- **SUMMARY**

- The Cobb recreation facility has served the community needs for many decades. It is a facility that has outgrown its expected service life. Although this facilities biggest concerns are the buildings envelope and energy needs, the were no real immediate code concerns from a life safety perspective. As the facility is constructed is a floodway, renovations or a new building on this site are not recommended, however the facility may be serviceable until another new center can be constructed in the area as a replacement.



SITE & FACILITY DESIGN - EXISTING FACILITY EVALUATION

Rose Recreation Center - Existing Facility Assessment

Upon visual observation of the existing facility the following items were identified.

- **CODE / HEALTH & SAFETY**
 - The overall facilities exits are located on a single side of the building. Current egressing codes require that exits for assembly occupancy buildings meet a separation distance. The current configuration is a concern for health and safety of the building occupants and would not meet current code requirements.
 - The building has no fire suppression or smoke alarm system. Due to the size and function of the building likely any new addition or remodel would require the addition of Fire Suppression System.
 - The basketball court appears to be a middle school court size. With the existing building structural columns, proper court clearances are not being provided and are a safety concern if the court is utilized for traditional game play.
- **EXTERIOR**
 - The main entries have apparent foundation settling issues visible in the cracking brick. Some of this may have been caused by the improper roof drainage that is occurring over these covered entries. Water does not appear to be draining away from the building properly.
 - The exterior windows overtime have been covered up with sheet metal coverings. It's not clear if insulation was added behind the sheet metal or if this was in lieu of replacing windows.
 - An Ice and water shield type product has been used as an exterior cladding finish on the upper clearstory portions of the exterior façade. This material's intended use is as an underlayment or flashing, not something that can stand up to UV and driving moisture such as wind, rain or hail.
 - There are some drainage concerns in the NE corner of the property and building. The adjacent site slope directly to this corner causing a potential low spot where the building could collect water.
- **ACCESSIBILITY**
 - There are existing ramps leading up to the main entry, although they were not measured, they appear to comply with accessibility standards. No internal elevation change occur within the building.
 - The restrooms and showers do not appear to fully comply with current TAS requirements.
- **ENERGY EFFICIENCY/ MAINTENANCE ISSUES**

- Although the restroom finishes appear to have recently been replaced the shower heights and controls did not appear to be working.
- The current facility would not meet current energy code standards. Single paned window glazing, and minimal building insulation do not contribute to an energy efficient building. Mechanical and Lighting upgrades would also be required to meet current energy codes.
- **USER EXPERIENCE / LAYOUT**
 - The building has a historic look based on the age of its construction. There is value in trying to save or re-use the facility for a more suitable use if moderate upgrades were made.
 - The existing wood basketball court looks to be in good condition and could be salvages if the facility is no used for recreation needs anymore.
 - There is minimal natural light as all the windows have been covered over the space would feel more enjoyable if the glazing and lighting were replaced and upgraded.
- **SUMMARY**
 - The Rose recreation facility is a beautiful building that has historical value which may be worth saving. The overall facility has significant occupant safety and egressing concerns that should be addressed if it's continued use as an assembly space remains. The overall envelope of the building has noted energy inefficiencies that likely should be addressed as well for user comfort and reduced operating expenses.



SITE & FACILITY DESIGN - EXISTING FACILITY EVALUATION

Chavez Recreation Center - Existing Facility Assessment

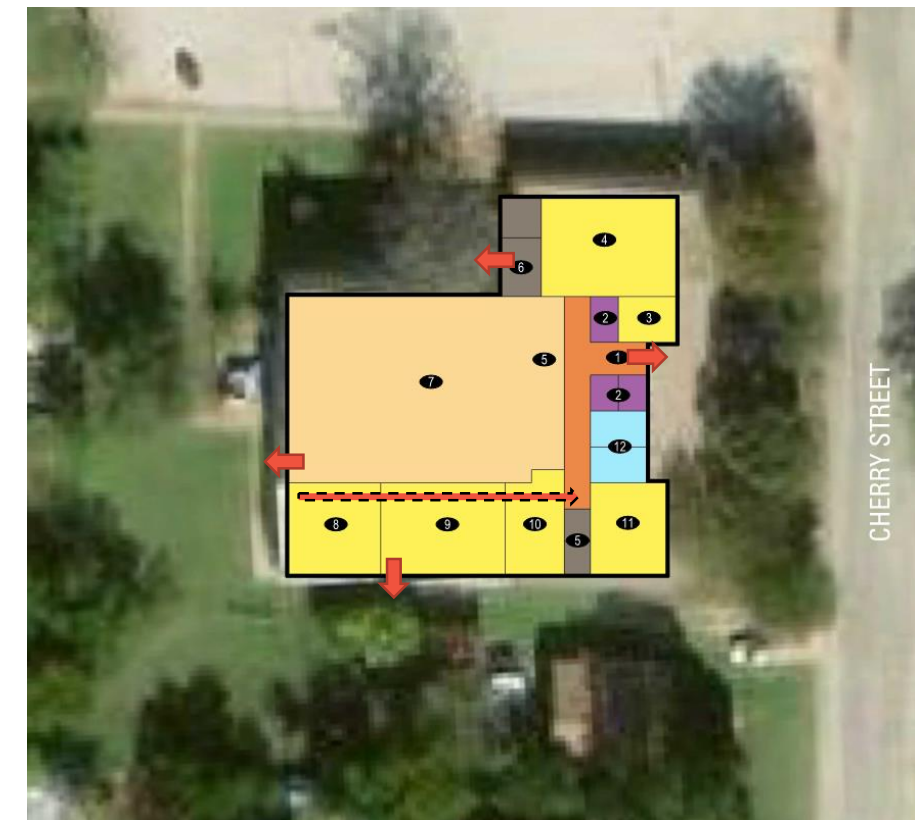
Upon visual observation of the existing facility the following items were identified.

- **CODE / HEALTH & SAFETY**
 - The facility had major issues with foundation settling and damaged underground plumbing issues. These items caused the building to be shutdown to the public.
 - The facility has been abandoned for some time now. It is used as general storage space for the other recreation centers, however, can be safety concerns that it is not used / monitored on a regular basis.
 - The building has no fire suppression or smoke alarm system. Due to the size and function of the building likely any new addition or remodel would require the addition of Fire Suppression System.
 - The addition made to the building was developed with out additional egress corridors. Although there is a nearby exterior door, the egress plan for the rear classroom spaces is a potential concern.
- **EXTERIOR**
 - Beyond the underground foundation and plumbing issues, the exterior of the building appears visually to be of solid sound construction. Minor cracking is noted in some of the exterior brick joints, which aligns with the settling issues that had been discussed.
 - There appears to be positive drainage away from the building on all sides.
- **ACCESSIBILITY**
 - There does not appear to be any accessibility access concerns from the exterior of the building. No internal elevation change occur within the building, beyond the cracking of the foundation and floor slab that are evident inside the building.
 - The restrooms appear to be compliant with current TAS requirements.
- **ENERGY EFFICIENCY/ MAINTENANCE ISSUES**
 - The current facility likely would not meet current energy code standards that have been adopted by the City. This facility though is the newest of all the Recreation buildings and is probably better constructed from a thermal comfort standard than the others. This Mechanical and Lighting upgrades would also be required to meet current energy codes.
- **USER EXPERIENCE / LAYOUT**
 - The building layout and adjacency of spaces is designed well. A single main entry point allows for sense of arrival and that which can be monitored by the admin space next to the front door.
 - The existing gym space includes a (72'x 40') Elementary Court, the plastic playing surface is not ideal however the overall gym space is in generally good condition and should be

considered for re-use if a renovated or new facility is constructed on this site.

- **SUMMARY**

- The current Chavez facility is closed to the public for good reason. Major foundation and plumbing issues would need to be addressed before reopening. The cost to renovation and fix these items along with the requirement to bring the building up to current codes may be as costly as building new. If it is determined that the foundation issues are limited to the east side of the building, there may be value to saving the existing gymnasium space and constructing a new facility around the existing gym in its current location.
- It was also not clear if the current parking lot was part of the City's property or currently owned by AISD (Abilene Independent School District). Parking requirements and space should also be verified before future development on this site is considered.



ENHANCED EXISTING FACILITY CONCEPT – GV DANIELS RECREATION CENTER @ CARVER PARK



*These conceptual drawings are subject to design modification as the project information, budget, schedule and priorities are future refined.



RECOMMENDED ENHANCED EXISTING
INDOOR RECREATION FACILITY SITES

ABILENE RECREATION FEASIBILITY STUDY

ENHANCED EXISTING FACILITY CONCEPT – SEARS RECREATION CENTER @ SEARS PARK



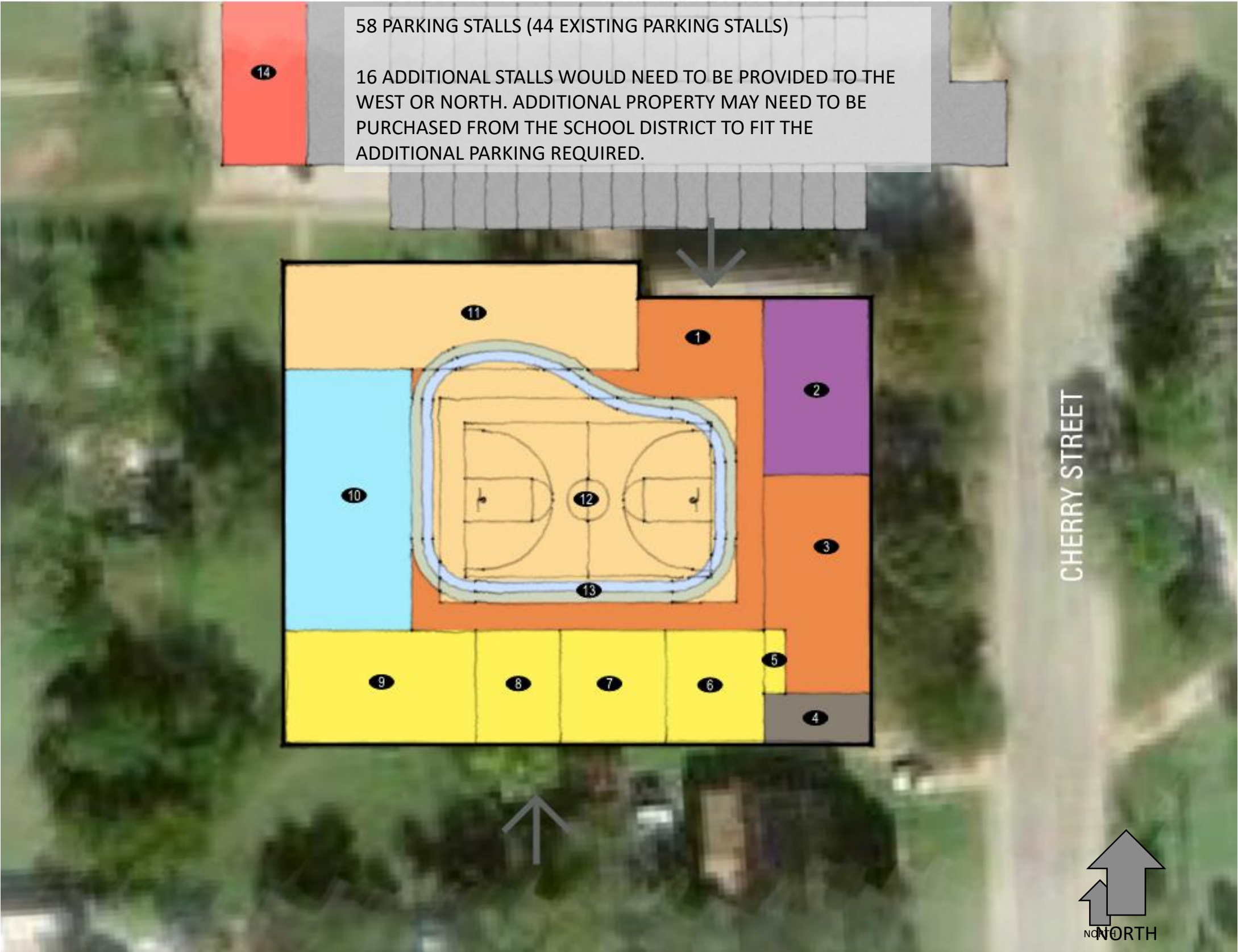
LEGEND

- BASE PROGRAM - PHASE 1:**
- 1. ENTRY/ LOUNGE/ CIRCULATION
 - 2. ADMINISTRATION
 - 3. YOUTH / GAMES ROOM
 - 4. WET ARTS & CRAFTS ROOM
 - 5. CLASSROOM/ PARTY/ DRY CRAFT ROOM
 - 6. 25 PERSON CLASSROOM
 - 7. HEALTHY COOKING / PREP KITCHEN
 - 8. SENIOR LOUNGE
 - 9. GROUP TECHNOLOGY SPACE
 - 10. LOCKER SPACES
 - 11. FITNESS & WEIGHTS
 - 12. GYMNASIUM
 - 13. ELEVATED WALK/ JOG TRACK

- FUTURE - PHASE 2 AQUATICS:**
- 14. LEISURE POOL
 - 15. POOL SUPPORT

*These conceptual drawings are subject to design modification as the project information, budget, schedule and priorities are future refined.

ENHANCED EXISTING FACILITY CONCEPT – CHAVEZ RECREATION CENTER @ SOUTH PARK



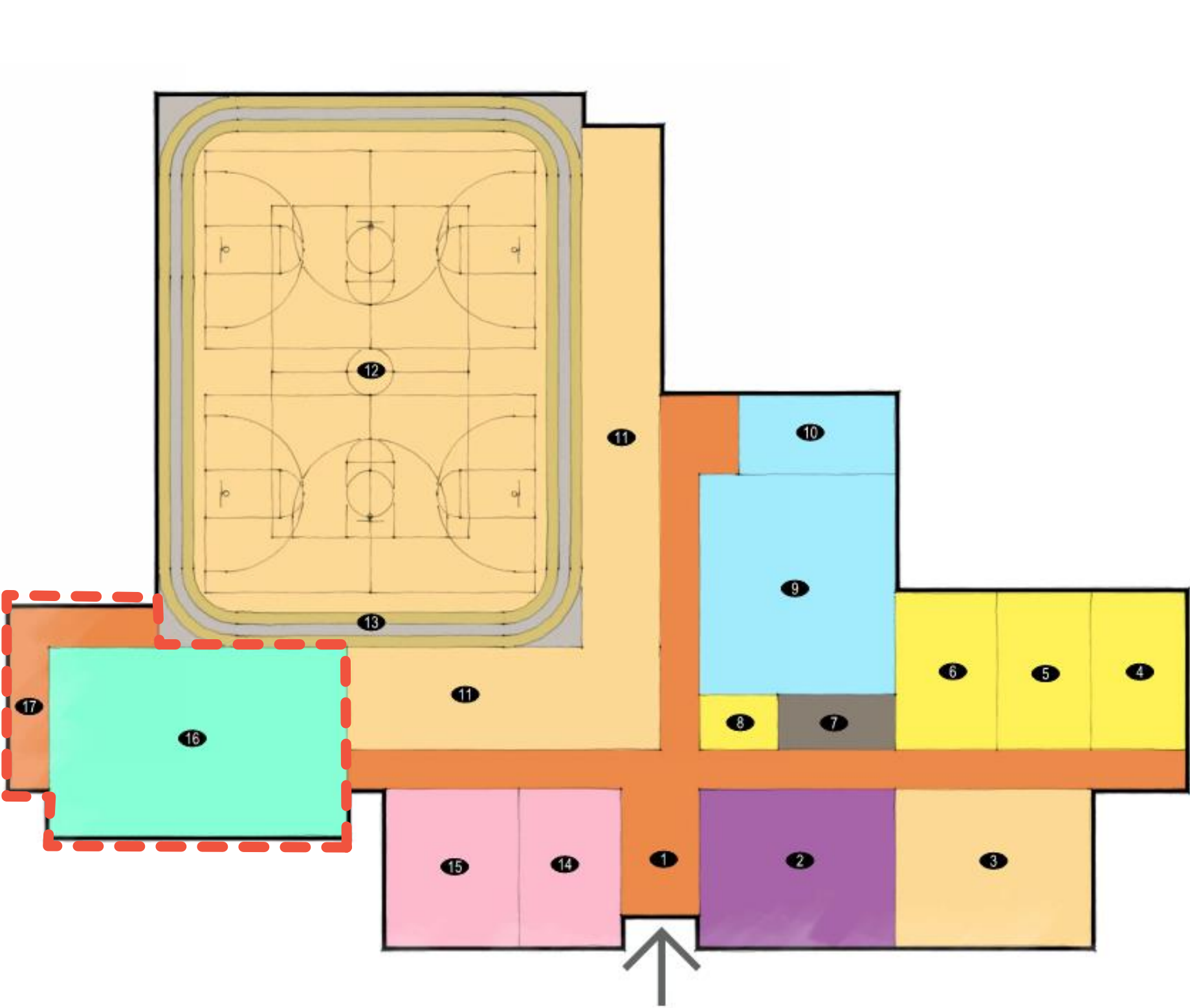
LEGEND

- 1. ENTRY/ LOUNGE/ CIRCULATION
- 2. ADMINISTRATION
- 3. SENIOR LOUNGE
- 4. HEALTHY COOKING / PREP KITCHEN
- 5. GROUP TECHNOLOGY SPACE
- 6. CLASSROOM/ PARTY/ DRY CRAFT ROOM
- 7. WET ARTS & CRAFTS ROOM
- 8. 25 PERSON CLASSROOM
- 9. YOUTH / GAMES ROOM
- 10. LOCKER SPACES
- 11. FITNESS & WEIGHTS
- 12. EXISTING GYMNASIUM
- 13. WALK / JOG TRACK

*These conceptual drawings are subject to design modification as the project information, budget, schedule and priorities are future refined.



FUTURE FACILITY CONCEPT – FUTURE ABILENE RECREATION CENTER PHASE 1



LEGEND

- BASE PROGRAM - PHASE 1:**
- 1. ENTRY/ LOUNGE/ CIRCULATION
 - 2. ADMIN/ OFFICE
 - 3. AEROBICS / DANCE STUDIO
 - 4. CLASSROOM/ PARTY/
 - 5. CLASSROOM/ DRY CRAFT ROOM
 - 6. CLASSROOM/ WET CRAFT ROOM
 - 7. HEALTHY COOKING KITCHEN
 - 8. QUICK STOP TECHNOLOGY
 - 9. LOCKER SPACES
 - 10. UNIVERSAL CHANGING ROOMS
 - 11. FITNESS & WEIGHTS
 - 12. MAC GYMNASIUM
 - 13. ELEVATED JOG TRACK ABOVE
 - 14. CHILDWATCH
 - 15. INDOOR PLAY

- AT KIRBY LAKE - SOUTH SITE ONLY:**
- 16. NATURE CENTER
 - 17. SCREENED ENCLOSED PORCH



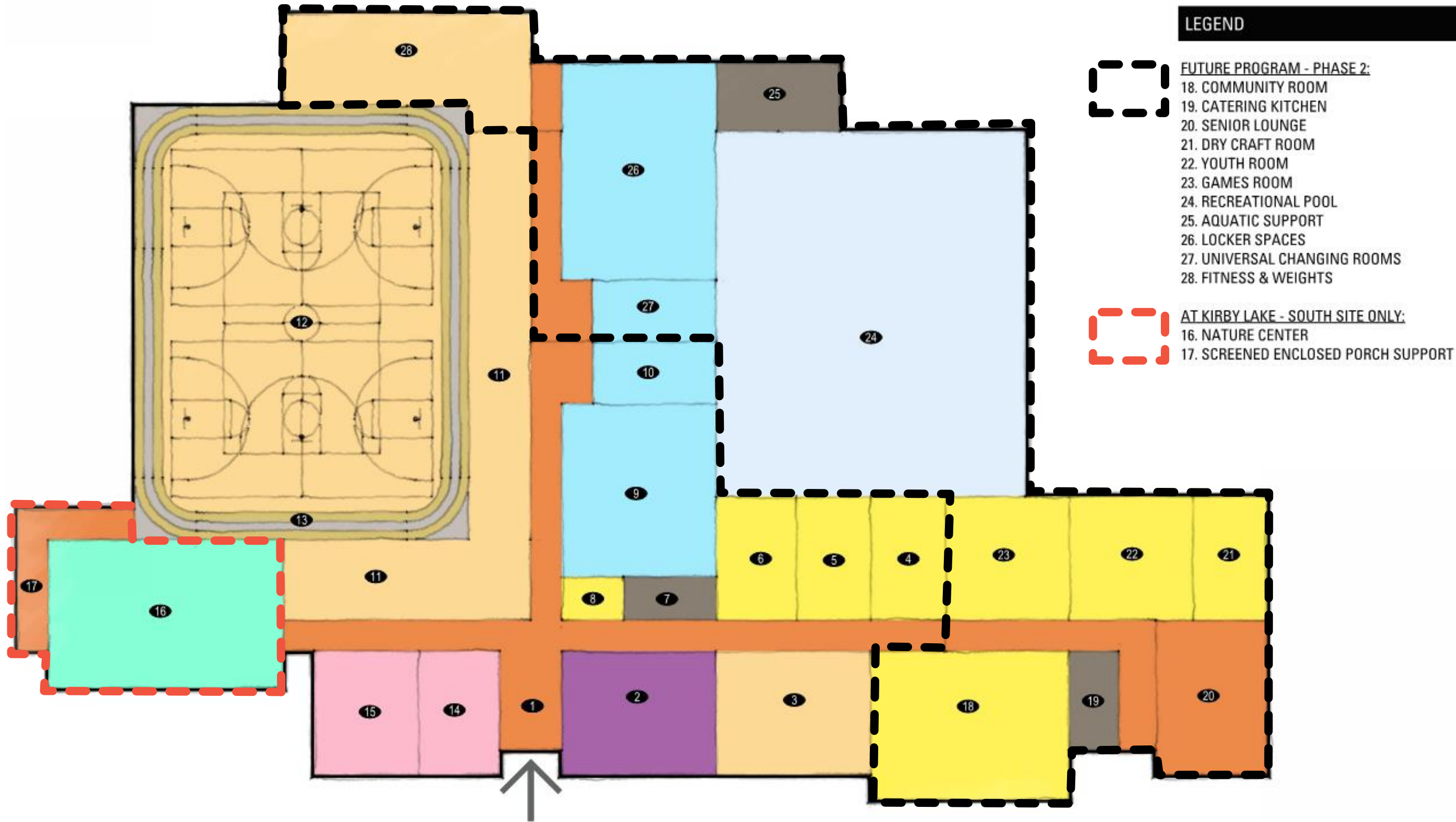
*These conceptual drawings are subject to design modification as the project information, budget, schedule and priorities are future refined.



RECOMMENDED FUTURE NEW INDOOR
RECREATION FACILITY SITES (PROPOSED)

ABILENE RECREATION FEASIBILITY STUDY

FUTURE FACILITY CONCEPT – FUTURE ABILENE RECREATION CENTER PHASE 2



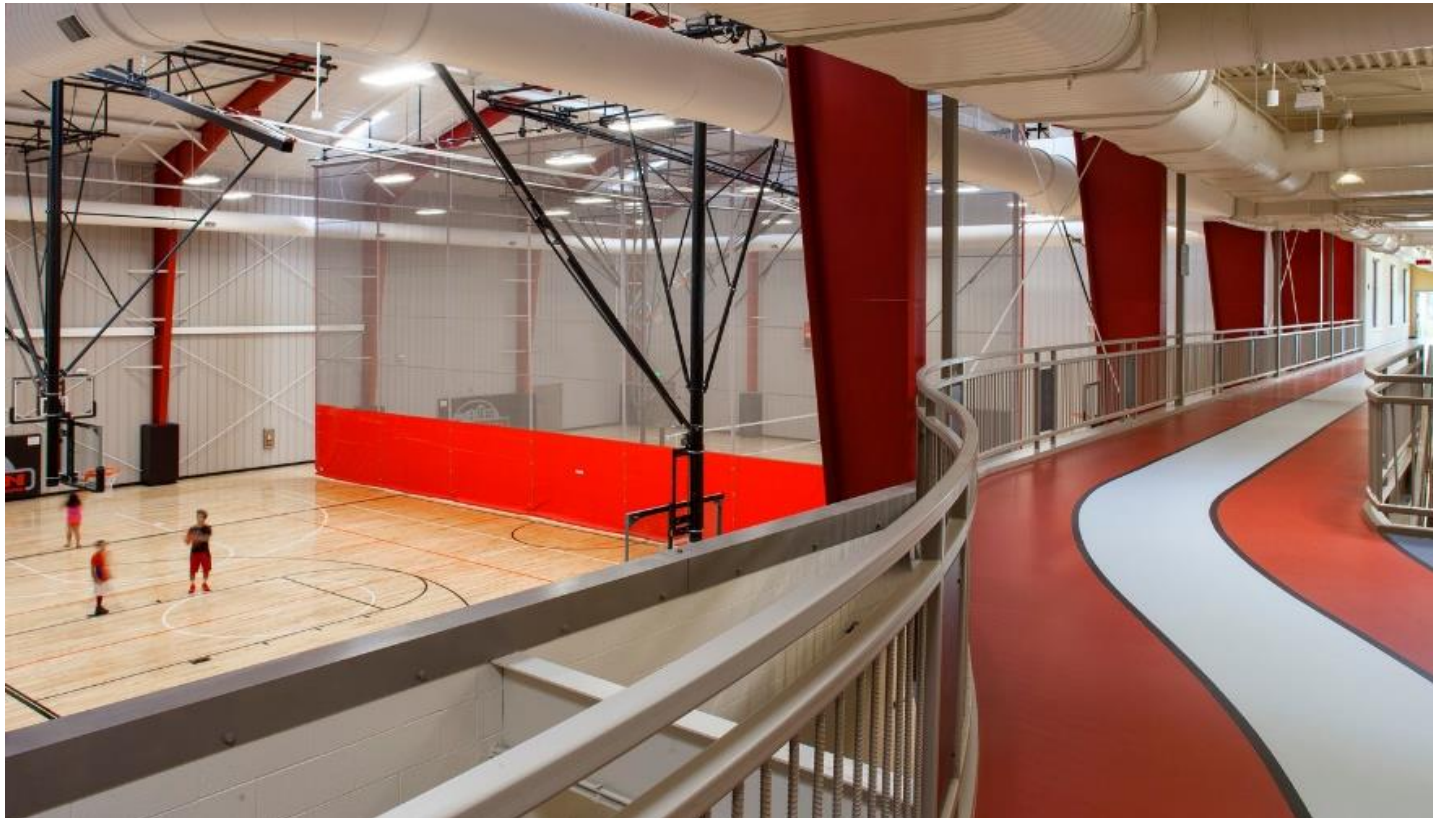
*These conceptual drawings are subject to design modification as the project information, budget, schedule and priorities are future refined.



RECOMMENDED FUTURE NEW INDOOR
RECREATION FACILITY SITES (PROPOSED)

ABILENE RECREATION FEASIBILITY STUDY

MODERN RECREATION SPACES – GYMNASIUMS/JOG WALK TRACKS/KITCHEN/PLAY AREA/MULTI-PURPOSE



*Images shown are representational of the typical types of spaces that are planned for. Exact details and aspects shown in the imagery will vary upon a final design.

MODERN RECREATION SPACES – GAME ROOMS/TEEN & YOUTH ROOMS/PARTY ROOM/WORKOUT AREA



ABILENE RECREATION SYSTEM – FUTURE FACILITY PROGRAM SUMMARY - TOTAL PROJECT COSTS

	GV DANIELS	SEARS (PHASE 1)	SEARS (PHASE 2)	CHAVEZ	KIRBY LAKE (PHASE 1)*	KIRBY LAKE (PHASE 2)
BUILDING SF	26,280 SF	34,585 SF	10,020 SF	23,015 SF	46,919 SF	38,691 SF
FACILITY COST	\$8,184,701	\$12,109,798	\$5,507,766	\$7,476,751	\$16,910,149	\$15,728,280
SITE COSTS	\$336,372	\$442,683	\$128,304	\$414,778	\$798,821	\$658,745
SOFT COSTS	\$3,639,561	\$5,242,944	\$1,868,304	\$3,178,286	\$8,062,710	\$6,133,194
TOTAL PROJECT COST	\$12,160,634	\$17,795,425	\$7,504,317	\$11,069,815	\$25,771,680	\$22,250,219

*Beltway Site would be similar costs without nature center. Nature Center = 3,975 SF (\$3.26 Mil.)

Costs are based on the mid-point of construction (Assumed March or 2023)

- Average SF of Indoor Recreation Space per capita: 1.0 -1.5 (Texas)
 - 2.0 in many states
- 130,799 SF / 122,000 pop. = 1.07 per resident phase 1
- 179,510 SF / 122,000 pop. = 1.47 per resident phase 1 & 2

ENHANCED EXISTING CENTERS - OPERATIONAL EXPENSES

Enhanced Existing Centers Square Footage	Chavez 23,000	Sears 33,000	GV Daniels 25,000	Aquatics Only 7,300
Full Time Staff (Wages & Benefits)	\$163,823	\$163,823	\$163,823	\$ 90,245
Part Time Staff (Wages & Benefits)	\$ 51,728	\$ 51,728	\$ 51,728	\$157,461
Total Staff	\$215,551	\$215,551	\$215,551	\$247,705
Total Supplies	\$ 11,750	\$ 11,750	\$ 11,750	\$ 19,500
Total Services	\$ 80,650	\$112,650	\$ 87,050	\$ 42,710
CIP Set Aside	\$ 12,318	\$ 13,598	\$ 12,574	\$ 11,617
Total Expenses	<u>\$320,269</u>	<u>\$353,549</u>	<u>\$326,925</u>	<u>\$302,032</u>

Assumptions

- Salaries and wages are based on City of Abilene compensation packages.
- Chavez Expenses & Revenue based on Sears and GV Daniels data.

FUTURE RECREATION CENTER – OPERATIONAL EXPENSES

Future Recreation Center Square Footage	Phase 1 47,000	Phase 2 38,000	Total 85,000
Full Time Staff (Wages & Benefits)	\$296,721	\$305,360	\$602,081
Part Time Staff (Wages & Benefits)	\$ 239,995	\$ 371,968	\$611,963
Total Staff	\$536,716	\$677,328	\$1,214,044
Total Supplies	\$ 47,900	\$ 71,600	\$ 119,500
Total Services	\$ 168,200	\$254,300	\$ 422,500
CIP Set Aside	\$ 30,133	\$ 40,129	\$ 70,242
Total Expenses	<u>\$782,929</u>	<u>\$1,003,228</u>	<u>\$1,826,285</u>

Assumptions

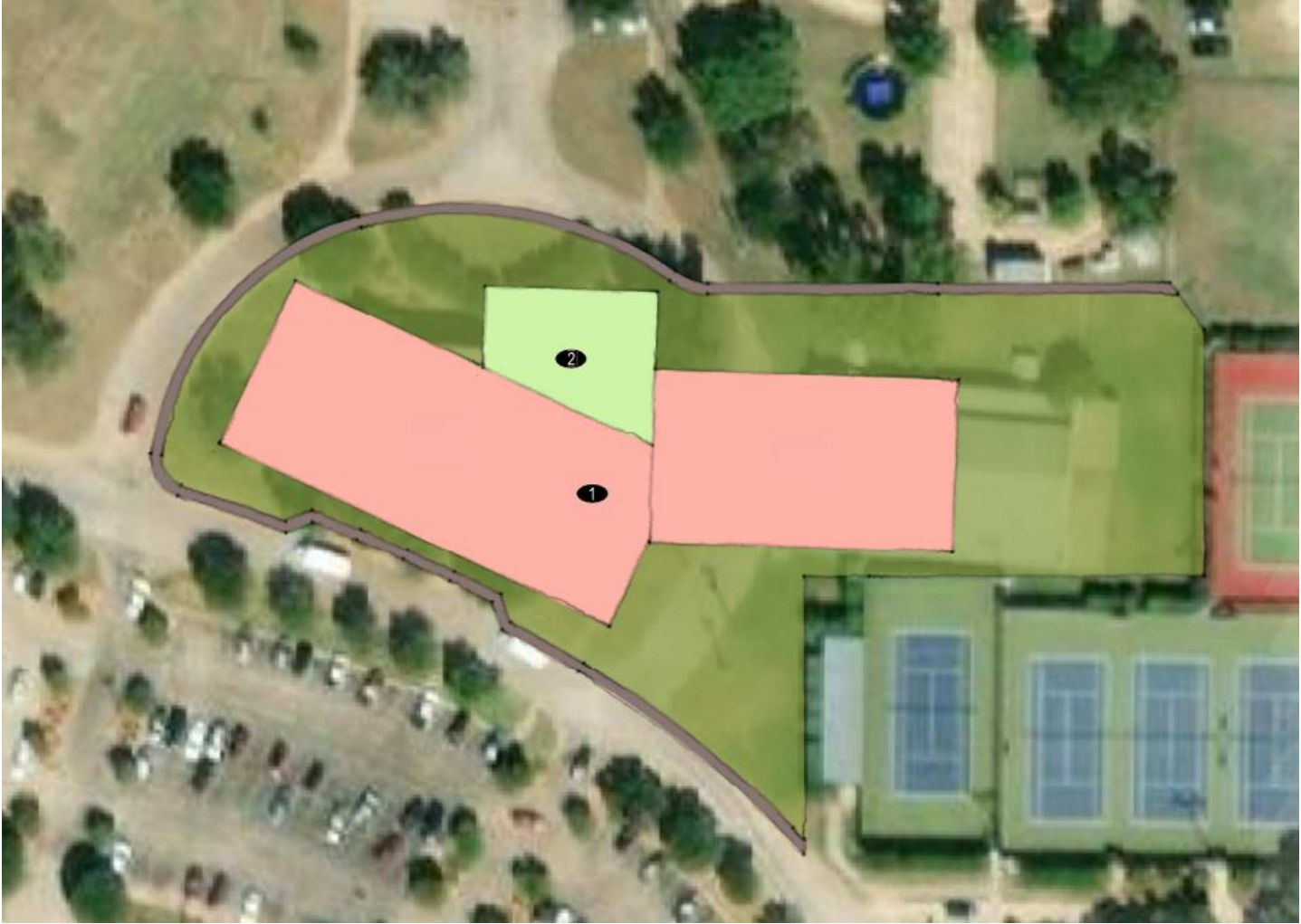
- Salaries and wages are based on City of Abilene compensation packages.

FEASIBILITY STUDY CONCLUSIONS & RECOMMENDATIONS

- Abilene residents have a desire for **enhanced quality** of life through **Indoor Recreation Amenities**.
- Abilene has **grown** since the last Recreation Center was built in the **1970's**
- The City of Abilene has an **aging stock** of Indoor Recreation Facilities.
 - Some **existing facilities** do not meet many current **life safety & accessibility, energy** codes.
 - Existing facilities are limiting the City of Abilene **ability** to deliver a modern **recreation program**.
- There are **underserved populations** of Abilene which desires Indoor Recreation quick access.
- This feasibility study finds that **there are gaps in the Indoor Recreation System**.
 - The following recommendations are:
 - **3 replacement facilities at GV Daniels, Sears, Chavez (93,900 SF)**
 - **1 new future facility at Kirby Lake Park (85,610 SF)**

ADAPTIVE RECREATION CENTER

Phase	Phase/Program SF	Total Building Construction (Hard) Cost	\$ Per Square/Foot	Total Project Cost 30% Multiplier
Phase 1 - Base Program	28,210	\$10,817,307	\$383/SF	\$14,062,500
Phase 2 - Aquatics	4,353	\$2,188,000	\$503/SF	\$2,844,400
Total	32,563	\$13,005,307	\$399/SF	\$16,906,900



Phase 1 – Base Program

- Admin Spaces including Restrooms
- Small Classroom
- Arts and Crafts Room
- Fitness Area / Aerobics
- Senior Room
- Event Hall
- Computer lab
- Kitchen
- Gym
- Sensory Room

Phase 2 – Aquatics

- Small Leisure Pool with Therapy Water
- Small Locker Room with 2 extra Universal Changing Rooms
- Aquatics Office and Support Spaces

Minter Park Update



Minter Park Update



Construction is in progress.

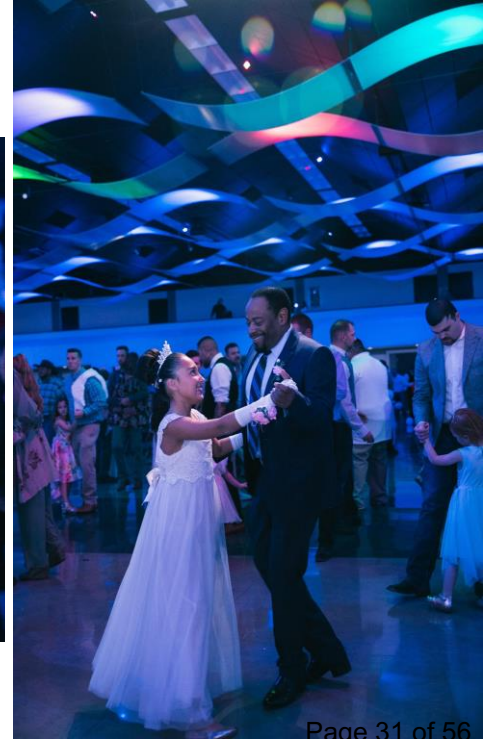
Completion anticipated
mid May.



Recreation



Daddy Daughter Dance



A.R.S. Special Olympics



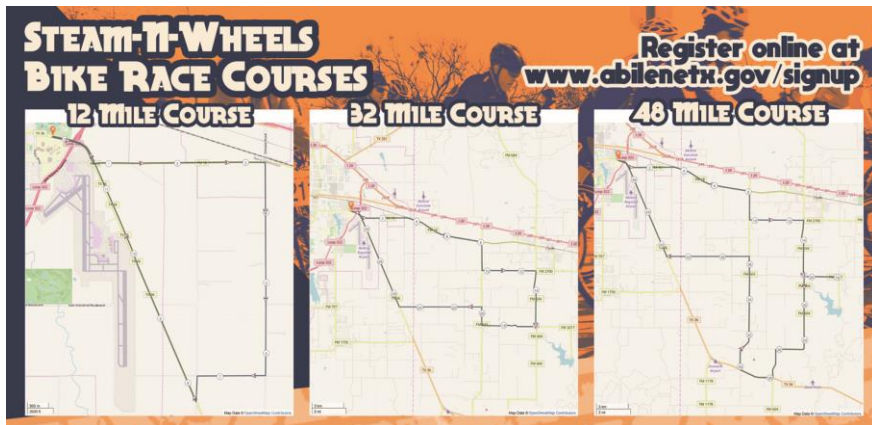
Spring Break Camp

- March 9-13 GV Daniels
- \$65 per person



Steam -N- Wheels

- March 14th @ Grover Nelson Park
- \$35 per person



**STEAM
-N- WHEELS
BIKE RACE**

SATURDAY, MARCH 14, AT 10AM
GROVER NELSON PARK (2070 Zoo Lane)

**12 MILE,
32 MILE, &
48 MILE
RACES**

REGISTRATION:
\$35 per individual
Late registration 8-9am day of race
\$45 per individual
Packet Pick up Mar. 13 8am-5pm
at Community Services (633 Walnut Street)
Prizes available for winners of age divisions

Register online at www.abilenetx.gov/signup

MY PARKS & RECREATION
CITY OF ABILENE

Abilene 



CITY OF
ABILENE
TEXAS

Madagascar Campaign

Updates



Madagascar Groundbreaking



Madagascar Construction

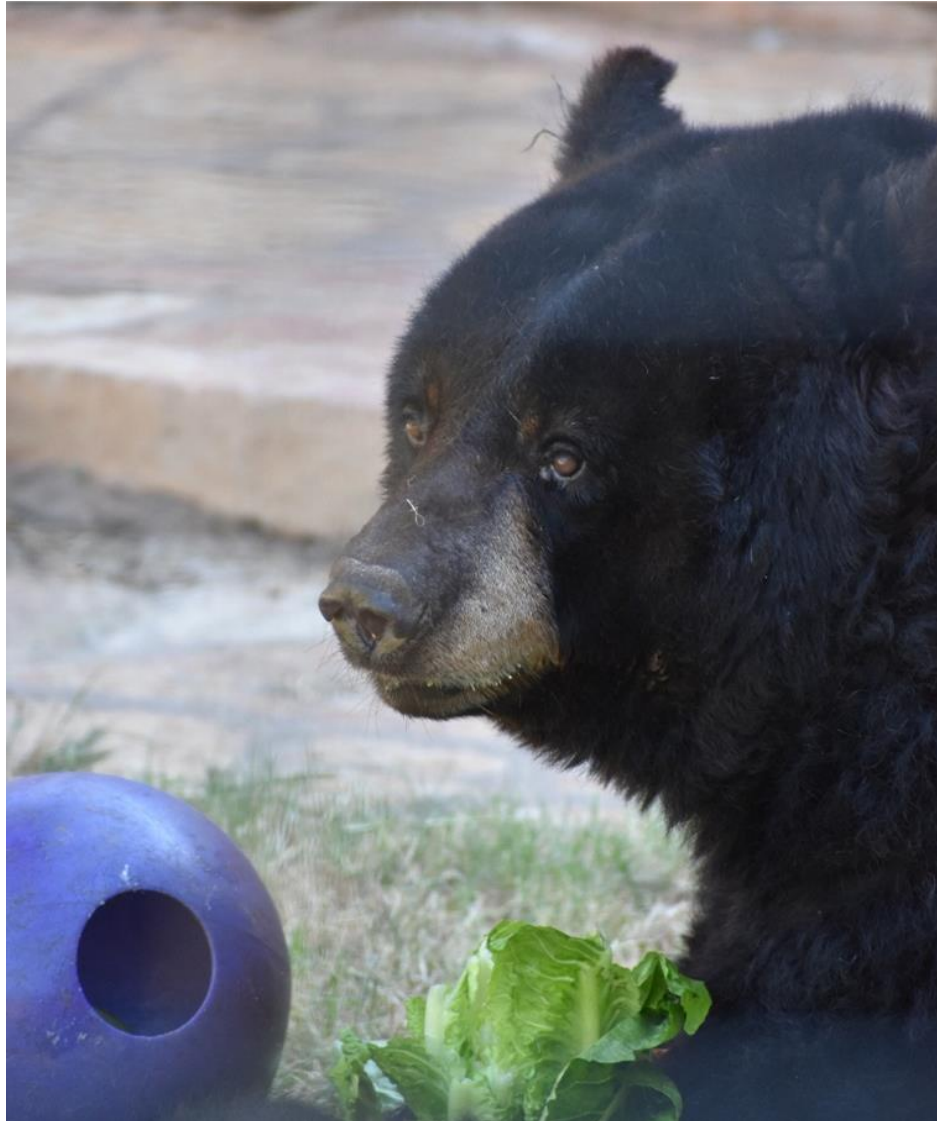


Animal Care

Updates



Teddy – The North American Black Bear



Maned Wolf Triplets



What's New at the Zoo

Special Events



Leap Day 2020



Spring Break 2020



Senior Discovery Day



Easter at the Zoo



Parks



Spring Has Sprung

Back to the
mowing schedule
this month



Winter Project Completion



Backstops at Sears and
Redbud

New fishing dock at Johnson
Park

Community Services patio

Sidewalk replacement at
Nelson fields



Winter Project Completion



Tree trimming- approx. 250 trees

Landscape beds- 131,000 sq. ft.

Painting at Curly Hays

Painting at park restrooms

Trail bridges



Senior Services/Aquatics



One Day Getaway

Lubbock, Texas

March 14, 2020

Full Bus



only
\$40
per person

One Day Getaway to
LUBBOCK

Saturday, March 14th
Bus departs
at 6:30 am

Trip includes:

- Post Trade Days
- Ranch Heritage Museum
- West End Shopping Center

Must be 55 or older



St. Patrick's Day Bingo

Prizes and Refreshments

March 17, 2020

9:30 AM



March Movies

Every Friday

1:00 PM

Rose Senior Center

March Movies FRIDAYS AT 1 PM IN ROOM C



March 6th-
Love at the Shore



March 13th-
Miracle Dogs



March 20th-
Adopt a Highway



March 27th-
A Father's Choice



March 2020

Event Schedule

March Events

05
MAR

VETERAN'S MEETING
ROOM C | 10:00 AM

11
MAR

GROCERY SHOPPING
LOBBY | 12:30 PM

16
MAR

AARP MEETING
ROOM B | 10:00 AM

19
MAR

DEFENSIVE DRIVING
ROOM D | 8:30 AM

25
MAR

GROCERY SHOPPING
LOBBY | 12:30 PM



Pool Season

Adventure Cove May 23, 2020
Splash Pads Mid-April 2020

ASK ABOUT SUMMER JOB
OPPORTUNITIES
AT ADVENTURE COVE



UPCOMING POSITIONS INCLUDE:

Pool Manager
Assistant Pool Manager
Certified Lifeguard
Concessions Manager
Concessions Cashier

